



TOWN OF CORTLANDT PLANNING BOARD

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TO JOIN THE MEETING REMOTELY USE THE ZOOM LINK BELOW:

<https://us02web.zoom.us/j/85607318651?pwd=6g5fJ8sajjPPOEDWo7xI7jDLPY1kbb.1>

WORK SESSION.....APRIL 1, 2025 6:00 PM

1. Discuss April 1, 2025 Regular Planning Board Meeting Agenda.

**MEETING AGENDA.....PLANNING BOARD
TOWN OF CORTLANDT
6:30 TUESDAY EVENING*
APRIL 1, 2025**

1. PLEDGE TO THE FLAG
2. ROLL CALL
3. CHANGES TO THE AGENDA BY MAJORITY VOTE
4. ADOPTION OF THE MINUTES OF THE MEETING OF FEBRUARY 4, 2025
5. CORRESPONDENCE

PB 1-16 a. Letter dated February 10, 2025 from James Annicchiarico requesting the 3rd, six-month time extension of Preliminary Plat approval for the Pomona Development, LLC (Boga) subdivision located on the south side of Revolutionary Rd., south of Eton Lane.

6. RESOLUTIONS

PB 2024-3 a. Application of Briga Enterprises Inc. & Bilotta Realty of Westchester Inc. for Amended Site Plan approval for a 2,400 sq. ft. storage building located at 2099 Albany Post Rd. Drawings latest revised February 18, 2025. (see prior PBs 29-95, 15-99, 8-03)

PB 2025-4 b. Application of Zachary Kamm, P.E. on behalf of Kitzbuehel Realty, LLC for Amended Site Plan approval to convert the former ShopRite store to a Floor & Décor store for property located at 2094 E. Main Street. Drawings latest revised March 20, 2025. (see prior PB 25-92)

7. **PUBLIC HEARING (NEW)**

- PB 2024-2** a. Application of George McCombe for Preliminary & Final Approval for a 2-lot minor subdivision of a 2-acre parcel of property located at 107 Mountain View Road. Improvement drawings latest revised February 20, 2025. Plat dated August 7, 2024.

8. **ADJOURNMENT**

Next Regular Meeting; TUESDAY, MAY 6, 2025 at 6:30 PM
Agenda information is also available at www.townofcortlandt.com

** Regular meeting will begin at the conclusion of the work session*

DRAFT

**TOWN OF CORTLANDT
PLANNING BOARD
PB 1-16**

RESOLUTION NO. 7-25

WHEREAS, the application of **Pomona Development, LLC** for Preliminary Plat approval pursuant to Sections 276 and 277 of the New York State Town Law and Chapter 265 (Subdivision Regulations) of the Town of Cortlandt Code and for permits pursuant to Chapter 179 (Wetlands), 259 (Steep Slopes) and Chapter 283 (Trees) for a proposed 3 lot major subdivision of a 16.78 acre parcel of property as shown on a 13 page set of drawings entitled “Subdivision Plan for Pomona Development” prepared by Cronin Engineering, P.E., P.C. latest revision dated April 26, 2023 was approved on September 5, 2023 by Resolution 9-23, and

WHEREAS, the subject property of 16.78 acres is zoned R-20, single family residential, is located on the southeast end of Revolutionary Road, approximately 500 feet southeast of Eton Lane and is designated on the Town of Cortlandt Tax Maps as Section 23.15, Block 1, Lot 43, and

WHEREAS, by Resolutions 3-24 and 8-24 the Planning Board previously granted two, six-month time extensions of Preliminary Plat approval, and

WHEREAS, by letter a dated February 10, 2025 James Annicchiarico requested the 3rd, 6-month time extension of Preliminary Plat approval in order to continue to meet the conditions of said approval, and

WHEREAS, by Resolution 5-25 adopted on March 4, 2025 the Planning Board granted a 1-month time extension, and

WHEREAS, the applicant has resolved the outstanding issues that lead to the granting of the 1-month time extension.

NOW THEREFORE BE IT RESOLVED that the Planning Board hereby **APPROVES** a 5-month time extension of Preliminary Plat approval said extension to expire on September 5, 2025.

TO BE CONSIDERED FOR ADOPTION: APRIL 1, 2025

DRAFT

**TOWN OF CORTLANDT
PLANNING BOARD
PB 2024-3**

RESOLUTION NO. 8-25

WHEREAS, an application was submitted by Briga Enterprises Inc. & Bilotta Realty of Westchester Inc. for Amended Site Plan approval for a 2,400 sq. ft. storage building as shown on a 3-page set of drawings entitled “Dakota Supply Corp.- Tenant Change in Existing Building” dated February 18, 2025 prepared by Steven J. Basini, R.A. and on drawings entitled “Site Plan for 2099 Albany Post Rd.-Proposed 40’ by 60’ Metal Storage Building” latest revision dated February 28, 2025 and “Foundation Plan” dated December 18, 2023 both prepared by George Mottarella, P.E., and

WHEREAS, the entire subject property is approximately 9.7 acres is located at 2099 Albany Post Rd. and is split zoned with the front portion to a depth of approximately 200’ zoned HC/9A and the remainder of the site zoned M-1, Light Industrial, and is designated on the Town of Cortlandt Tax Maps as Section 55.09, Block 1, Lot 3 and

WHEREAS, the Planning Board is considering this application a Type 2 action under 6 CRR NY 617.5 as construction of a nonresidential structure or facility involving less than 4,000 sq. ft. of gross floor area, and

WHEREAS, the subject of this Amended Site Plan application is the approval of the existing 2,400 sq. ft. storage building that is associated with the existing Dakota Masonry & Landscaping Supply retail operation located in the front, HC/9A portion of the property, and

WHEREAS, the subject 2,400 sq. ft. building was previously approved by motion by the Planning Board on February 6, 2024 and a building permit was issued and the building constructed but no Certificate of Occupancy has been issued, and

WHEREAS, the remainder of the site consisting of construction-related uses is not the subject of this application and no portion of the remainder of the site is receiving any approvals via this resolution, and

WHEREAS, the 2,400 sq. ft. building and required associated site improvements including stormwater improvements, handicapped parking spaces, a garbage enclosure, etc. were reviewed by the Town Engineer and the Planning Board consulting engineer, and

WHEREAS, the subject drawings and application materials were referred to the Westchester County Planning Board, and

WHEREAS, a Public Hearing was held pursuant to Chapter 307 (Zoning) of the Town of Cortlandt Code and pursuant to Chapter 274-a of the New York State Town Law on said application at the Cortlandt Town Hall, 1 Heady Street, Cortlandt Manor, New York on October 1, 2024 adjourned to November 7, 2024 December 3, 2024, January 7, 2025, February 4, 2025 and March 4, 2025, and

WHEREAS, the Public Hearing Notice for this application was duly published in the “Gazette”, and

WHEREAS, the subject Public Hearing Notice was mailed to adjacent and across the street property owners and the subject property was posted with a sign giving notice of the Public Hearing, and

WHEREAS, written and verbal comments made in response to the subject application were considered by the Planning Board.

NOW THEREFORE BE IT RESOLVED that the application of Briga Enterprises Inc. & Bilotta Realty of Westchester Inc. for Amended Site Plan approval for an existing 2,400 sq. ft. storage building as shown on a 3-page set of drawings entitled “Dakota Supply Corp.-Tenant Change in Existing Building” prepared by Steven J. Basini, R.A. latest revision dated February 18, 2025 and on

drawings entitled “Site Plan for 2099 Albany Post Road – Proposed 40’ by 60’ Metal Storage Building” latest revision dated February 28, 2025 and “Foundation Plan” dated December 18, 2023 both prepared by George Mottarella, P.E are hereby **approved**, and

FURTHER BE IT RESOLVED that approval of said Site Development Plan shall be valid for a period of twelve (12) months from the date of this Resolution to satisfy all conditions of approval and to obtain the signature of the Planning Board Chairperson on the Site Development Plan. If there is no substantial change in the condition of the site and/or its environs, Site Development Plan Approval may be extended by the Planning Board for a maximum of two (2) additional years, granted in one-year intervals, upon timely application by this applicant and a written explanation of the reasons for the delay which require the granting of a time extension.

CONDITIONS AND MODIFICATIONS:

- 1. Revise the drawing entitled “Site Plan for 2099 Albany Post Road – Proposed 40’ by 60’ Metal Storage Building” to a standard full sized drawing and (a) Add the current signature block to the cover page and (b) Obtain the required signatures from the Planning Director, the Planning Board Engineer, the Director of Environmental Services and the Planning Board Chairperson on the subject drawing(s) and (c) following the receipt of the required signatures submit four paper copies of said signed drawing set to the Planning Office (d) following all of the signatures e-mail a .pdf scan of the drawing set to the Planning office (e) submit an as-built survey in AutoCAD file in digital format at the completion of the project.**
- 2. Obtain the signature of the Receiver of Taxes on an appropriate form indicating that taxes on the subject property have been paid.**
- 3. The subject drawing shall be clearly delineated via a “cloud/bubble” around the front**

portion of the site enclosing the retail operation to the satisfaction of the Department of Technical Services/Planning Department/Legal Department and a note shall be added to the plan that states that “Only activities and materials associated with the masonry supply yard, as outlined on this plan, are approved as part of this application. Operations outside the area outlined are not under consideration or approved as part of this application”.

4. Applicant shall revise the subject site plan to address the January 27, 2025 Department of Technical Services memorandum and the March 7, 2025 LaBella memorandum.

5. The subject drawing shall be revised to include an updated zoning table, clearly identify what is stored outside, demonstrate compliant parking requirements and the removal of material storage from the front yard and relocation to the storage yard and the moving of site parking to this area to the satisfaction of the Director of Technical Services and the Planning Department.

6. The Property Owner / Tenant / Contract Vendee shall file application to the Planning Board by the May 22nd deadline for presentation at the June 3, 2025 meeting for an amended site plan for the activities in the M1-A zone consistent with the previous 2005 site approval granted via correspondence as outlined within the October 17, 2005 letter prepared by George Mottarella, P.E. The Property Owner/Tenant/Contract Vendee shall be required to diligently process and obtain amended site plan approval for the activities in the M1-A zone. Consistent with all other applications, the Planning Board does not impose a time period by when the Applicant must obtain amended site plan approval.

7. Within 60-days of this approving resolution, Applicant shall complete and close out all requirements of Building Permit Application A-23-842.

8. This approval grants operational status of the masonry retail center as well as the resale of screened topsoil, meeting 6 NYCRR Part 360 only.

9. No onsite fuel storage other than those fuel storage tanks necessary to support the masonry building (e.g. propane) are permitted for storage in the HC-9A portion of the site.

10. Note on the subject site plan that the 1-story storage building shall only be used for masonry supply and similar material storage. Its use for vehicle storage, automotive or small engineer repair and similar mechanical storage is not permitted as part of this application.

11. Prior to the signing of this plat, the Applicant shall file for a backflow prevention application with the Department of Technical Services, for the existing water service feeding the masonry yard and office.

12. Prior to the signing of this plat, the Applicant shall submit to the Department of Technical Services, that the existing onsite wastewater treatment system has been inspected by a licensed professional engineer and serviced by a licensed sanitary hauler.

13. Posting of a combined soil erosion security and maintenance security pursuant to Section 307-73.1 of the Town Code in the amount of \$5,000. Said security to be in effect for a period of not less than two years from the date thereof. Prior to the release of the signed Site Development Plan by the Planning Division said security shall be submitted to and approved by the Town Department of Law which will then be forwarded to the Town Clerk and a copy to the Planning Division. Any security or performance collateral required to be posted shall be in accordance with Chapter 237 of the Town Code and as per Town Board Resolution 190-04.

14. The applicant shall obtain all required building permits from the Department of Technical

Services - Code Administration and Enforcement Division prior to beginning any site work within one-year of the date of this resolution.

TO BE CONSIDERED FOR ADOPTION: APRIL 1, 2025

DRAFT

**TOWN OF CORTLANDT
PLANNING BOARD
PB 2025-4**

RESOLUTION NO. 9-25

WHEREAS, an application was submitted by Zachary Kamm, P.E. on behalf of Kitzbuehel Realty, LLC for Amended Site Plan approval to convert the former ShopRite store to a Floor & Décor store as shown on a 14-page set of drawings entitled “Preliminary & Final Site Plan” prepared by Zachary A. Kamm, P.E. latest revised March 20, 2025 and on an elevation drawing entitled “Shell Elevations” prepared by SBLM Architects latest revision dated February 13, 2025, and

WHEREAS, the subject property of approximately 11.49 acres is located at 2094 East Main is zoned CD, designed commercial and is designated on the Town of Cortlandt Tax Maps as Section 24.13, Block 2, Lot 4,5,6, 9,11 & 12, and

WHEREAS, the subject application is considered a Type 2 action under 6 CRR NY 617.5 as a replacement, rehabilitation or reconstruction of a structure or facility, in kind, on the same site, and

WHEREAS, the applicant is proposing to convert the former ShopRite store to a Floor and Decor store with areas of grading and new pavement for a redesigned handicapped parking area, milling and overlay of the parking lot, additional perimeter landscaping, lighting upgrades, a complete building façade renovation and new signage, and

WHEREAS, alternative concepts have been analyzed for the ADA accessible parking layout on the site including moving the ADA spaces parallel to the existing building, similar to the existing layout and relocating the ADA parking spaces on the lower side of the landscape island however these layouts caused significantly more disturbance and fill or required a much longer path of travel requiring ADA pedestrians to traverse up a ramp to access the building, and

WHEREAS, the layout shown on the subject site plan minimizes disturbance to the existing parking lot and provides the shortest accessible route to the building, and

WHEREAS, the subject proposal was reviewed by the Department of Planning and Community Development, the Town’s Consulting Engineer, the Town Engineering Division and the Code Enforcement Division, and

WHEREAS, the elevation drawings were referred to the Town Architectural Review Council for their review and comment and they recommend approval, and

WHEREAS, the subject drawings and application materials were referred to the Westchester County Planning Board and the New York State Department of Transportation, and

WHEREAS, written and verbal comments made in response to the subject application were considered by the Planning Board.

NOW THEREFORE BE IT RESOLVED that the application Zachary Kamm, P.E. on behalf of Kitzbuehel Realty, LLC for Amended Site Plan approval of is hereby as shown on a 14-page set of drawings entitled “Preliminary & Final Site Plan” prepared by Zachary A. Kamm, P.E. latest revised **February 20, 2025** and on an elevation drawing entitled “Shell Elevations” prepared by SBLM Architects latest revision dated February 13, 2025, is hereby **approved**, and

FURTHER BE IT RESOLVED that approval of said Site Development Plan shall be valid for a period of twelve (12) months from the date of this Resolution to satisfy all conditions of approval and to obtain the signature of the Planning Board Chairperson on the Site Development Plan. If there is no substantial change in the condition of the site and/or its environs, Site Development Plan Approval may be extended by the Planning Board for a maximum of two (2) additional years, granted in one-year intervals, upon timely application by this applicant and a written explanation of

the reasons for the delay which require the granting of a time extension, and

FURTHER BE IT RESOLVED that the approved site plan with the Planning Board Chairperson's signature shall be valid for a period of twelve (12) months from the date of signing during which time the applicant shall receive a building permit. If there is no substantial change in the condition of the site and/or its environs, said approval may be extended by the Planning Board for one (1) additional period of one (1) year, upon timely application by this applicant and a written explanation of the reasons for the delay in obtaining the building which require the granting of a time extension.

CONDITIONS AND MODIFICATIONS:

- 1. Add the current signature block to the cover page of the drawing set and (a) Obtain the required signature from the Planning Director, the Planning Board Engineer, the Director of Environmental Services and the Planning Board Chairperson on the subject drawing(s) and (b) following the receipt of the required signatures submit four paper copies of said signed drawing set to the Planning Office (c) following all of the signatures e-mail a .pdf scan of the drawing set to the Planning office (d) submit an as-built survey in AutoCAD file in digital format at the completion of the project.**
- 2. Obtain the signature of the Receiver of Taxes on an appropriate form indicating that taxes on the subject property have been paid.**
- 3. The applicant shall obtain all required building permits from the Department of Technical Services - Code Administration and Enforcement Division prior to beginning any site work within one-year of the date of this resolution.**
- 4. Posting of a combined soil erosion security and maintenance security pursuant to Section 307-73.1 of the Town Code in the amount of \$10,000. Said security to be in effect for a period of not**

less than two years from the date thereof. Prior to the release of the signed Site Development Plan by the Planning Division said security shall be submitted to and approved by the Town Department of Law which will then be forwarded to the Town Clerk and a copy to the Planning Division. Any security or performance collateral required to be posted shall be in accordance with Chapter 237 of the Town Code and as per Town Board Resolution 190-04.

5. Final details of the proposed landscape plan to be revised to the satisfaction of the Department of Planning & Community Development prior to the Chairperson signing the subject site plans.

6. Payment to the Town of an inspection fee in the amount of 5% of the construction costs based on an itemized breakdown of all site work, exclusive of interior building renovation work, submitted by the applicant and approved by the Director of Technical Services for all labor and materials for all on-site construction work.

7. The applicant shall address the March 12, 2025 Review Memo (attached) to the satisfaction of the Director of Technical Services.

8. The applicant is advised that all building and site signage shall be in conformance with the Town sign ordinance or an application to the Zoning Board of Appeals is required. The final sign package shall be referred to the Architectural Review Council for their review and comment.

TO BE CONSIDERED FOR ADOPTION: APRIL 1, 2025

March 20, 2025
Via Online Portal (OpenGov)

Town of Cortlandt
1 Heady Street
Cortlandt Manor, NY 10567

Attn: Mr. Chris Kehoe, AICP, Director
Department of Planning & Community Development
And Members of the Planning Board

**RE: Floor & Decor
Proposed Floor & Décor
Site Plan Amendment
PB 2025-4
2094 East Main Street
Tax ID 24.13-2-9
Town of Cortlandt
Westchester County, NY
DEC# 5079 24-04330**

Dear Mr. Kehoe and Members of the Planning Board,

Enclosed please find the following items constituting our submission to the Town regarding the above-referenced project submitted via the Town of Cortlandt OpenGov Portal:

- Signed Response Letter (this document) prepared by our office, dated March 20, 2025; and
- Signed and sealed copy of the Preliminary and Final Site Plan prepared by our office dated January 23, 2025, last revised March 20, 2025.

Below are sequential responses to the comment letters prepared by and received from the Town Professionals as they relate to the Site Plan Amendment:

Memorandum prepared by Martin G. Rogers, P.E. of Town of Cortlandt, Department of Technical Services, Code Enforcement Division, dated March 10, 2025:

Site Drawings

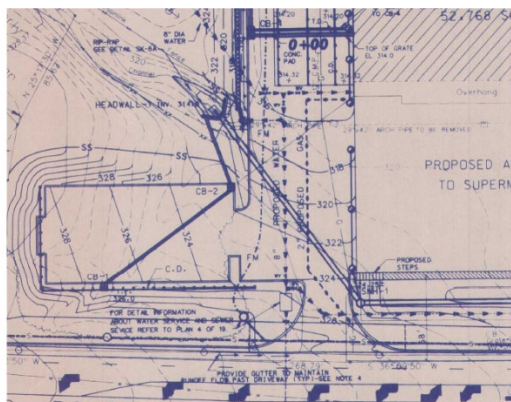
12. Include Detail for Fire Lane Sign and show locations on the Site Plan. FCNYS 503.3 and Appendix D, D103.6. Town of Cortlandt requires "No Parking, No Stopping, No Standing"

Fire Lane Signs including No Parking, No Stopping, and No Standing have been added to the Construction Details of the Site Drawings in accordance with FCNYS 503.3 and Appendix D103.6.

Memorandum prepared by Michael Preziosi, P.E. of Town of Cortlandt, Department of Technical Services, dated March 12, 2025:

Sanitary Sewer Comments:

1. Clearly identify the location of the existing sanitary pump chamber, its size, capacity and note any repair that may be required. Inspect all existing sanitary lines for inflow and infiltration and eliminate as necessary. Provide report of findings. Provide rims and inverts at connection points to Town's sanitary infrastructure.



Kindly note, that Department of Health review of sanitary sewer lateral connections is required if daily flow exceed 2500 gallons per day. Verify daily flow by utilizing the NYSDEC Intermediate Wastewater Design Manual to estimate flow. Place calculation directly on the plan.

It is recommended that the entire sanitary line be flushed. Furthermore, any onsite grease traps or holding tanks no longer necessary shall be properly decommissioned, abandoned and/or removed from the site, disposed of in a lawful matter. Note the same on plan revisions.

Proposed internal grease traps shall be noted on the MEP drawings and designed in accordance with the NYS Sanitary Code and NYS Plumbing Code to service any staff break rooms.

Existing sanitary pump station is shown on C-106, with a note stating that assessment of existing station to be performed. No objection, existing gravity

sanitary sewer lines will be inspected to confirm integrity and replaced if deemed necessary, prior to occupancy. A report of findings will be provided at a later date once complete.

A sanitary calculation has been added C-106. The calculation accounts for maximum employee count occurring typically on a Saturday plus additional square footage for the office area. This totals 1,453 GPD and does not exceed the Department of Health's 2,500 GPD threshold.

As noted in the Plumbing Demolition Plan as part of the Building Permit Application, notation to clean sanitary system is noted on sheet P101. Notation has been added to sheet PD101 for decommissioning of existing grease traps and grease system.

As indicated in the Plumbing Drawings for the Building Permit, no new internal grease traps are proposed.

Low pressure testing shall be in accordance with NYS Plumbing Code. Hydrostatic testing may also be performed at 1.25 times the working pressure of the lateral.

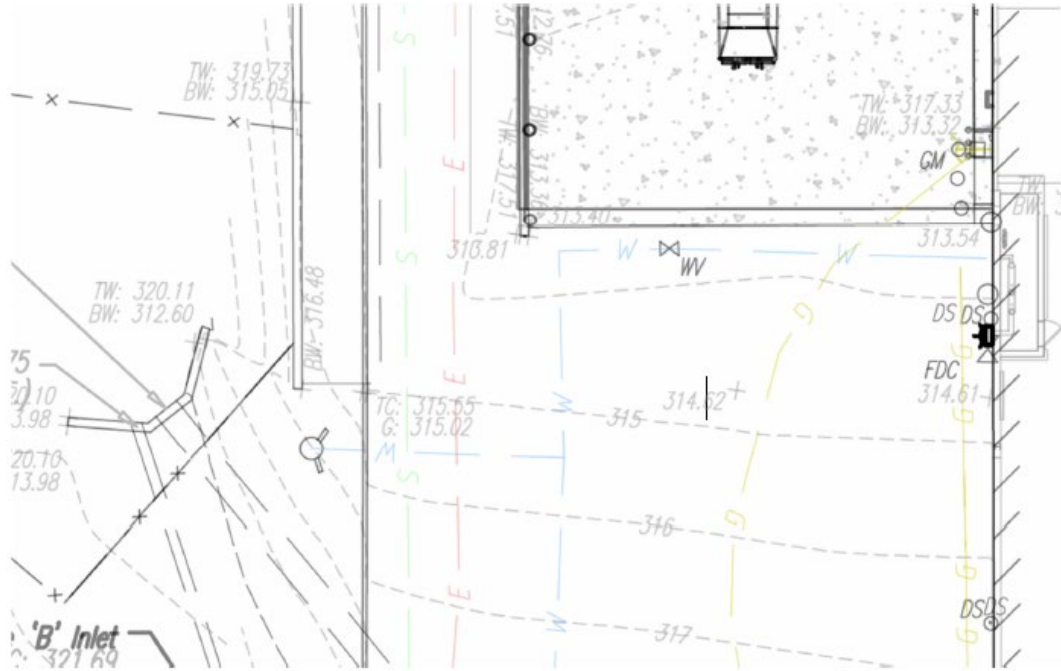
If any alterations to the existing system are proposed, provide layout, profile and details of the same. All separation distances to water shall be maintained (18" vertical, 10-ft horizontal). Note:

Advisory Comment: *This parcel is located in the Cortlandt Boulevard West Sewer Improvement Area and is subject to an annual benefit unit assessment. As this facility becomes operational, the annual assessment will increase based on water use. The 2025 assessment roll adopted a per benefit unit of \$306.92. A benefit unit is 330 gpd of metered water consumption.*

Acknowledged, low pressure testing shall be in accordance with NYS Plumbing Code. If any alterations to the existing sanitary system are proposed, layout profile and details will be provided, and separation distances to water will be maintained.

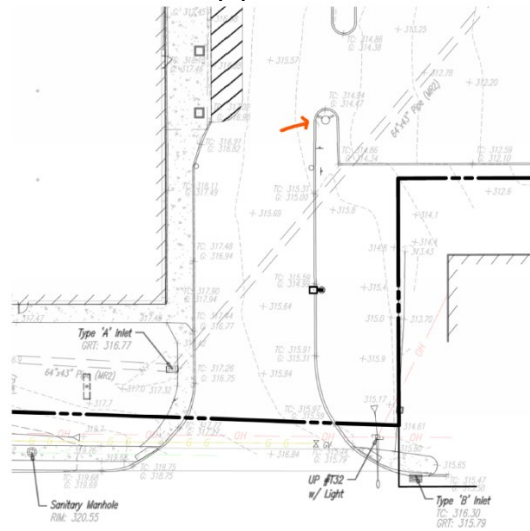
Water Distribution Comments:

1. Indicate the size and type of the onsite water main (assumed 8" DIP CI-52) servicing the site. The hydrant and main shown below is beyond the meter pit for the site and is considered private.



The approximate location of the existing 8" diameter DIP onsite water main is noted on the Utility Plan. Contractor to further verify size and material in field.

2. Show the location and size of the existing water main and hydrant arm servicing the site. We believe there is an 8-inch main that runs parallel with Route 6 in front of the addition and between the sidewalk and arch pipe culvert. Refer to 1994 site plan and utilities.



The approximate location of the existing 8" diameter onsite water main servicing the hydrant is noted on the Utility Plan. Contractor to verify location, size and depth in field.

- a. Verify all onsite hydrants have been tested are functioning and being maintained. Engineer shall certify such.

The sprinkler contractor retained by Floor & Décor will test the hydrant during construction and will make any necessary repairs before construction sign-off.

- b. Verify there is adequate operating pressure to service the proposed onsite fire suppression system. This may be completed simultaneously with the fire sprinkler plans. Ensure pressure reducing valve and existing/proposed backflow allows for adequate flow and operating pressure.

The sprinkler contractor retained by Floor & Décor will test the operating pressure during construction and make any necessary repairs and replacements before construction sign-off.

- c. Coordinate inspection of the existing bulk meter located adjacent to NYS Route 6 with DES – Water, Fred Bleakley or Ken Celli. The meter shall be replaced to the current Town of Cortlandt standard which can be obtained from Rio Supply. Contact Yasmin at 914- 879-8522.

Floor & Décor will replace the meter, as required, during construction.

- d. Normally all commercial construction requires a separate tap for potable and fire supply from the Town’s infrastructure. Since this is a re-use of the existing building and that the Town’s water infrastructure is across the NYSDOT right-of-way, the Town will allow the existing 8” DIP service lateral to be tapped for a potable k-copper service.

As stated, this is a re-use of the existing building. As reflected in the Plumbing and Civil Plans, no external modifications are proposed to the existing water line.

- e. The Town requires all backflow prevention devices for potable and fire supply to be inspected, tested and certified annually, with results uploaded to an online management system (BSI) and made accessible to the authorities having approving jurisdiction. This is also required for sanitary grease traps. Currently, 3 non-compliant devices are listed as follows:
 - i. 6” Ames 2000SS DCDA in the existing sprinkler room.
 - ii. 6” Febco 870 in a hot box.
 - iii. 2” Watts 909 in the sprinkler room.

MEP shall evaluate the current backflow devices, verify they are compliant with NYS and County Sanitary Code. If any device is relocated or altered in any way, or a new device is proposed, make application under separate permit through OpenGov. Said application(s) will be considered deferred design and can be progressed independently of this permit. All backflow devices must be installed, tested and certified prior to the issuance of a certificate of occupancy.

Fire protection devices to be evaluated by others. MEP has evaluated the existing water service backflow preventer and confirmed the existing to

remain and will not be relocated. This device is compliant with NYS Code. Please see the revised MEP drawings for the Building Permit application.

Flood Prevention, Storm Drainage and Wetland Comments:

1. There are regulated FEMA flood ways onsite. Revise the site plan to locate the 100-year flood plain and 500-year flood plain. Reference and indicate FIRM Panels and any noted base flood elevations.

It is understood that the current proposal has no impacts to the Flood Plain. However, this shall be noted by completing a Flood Damage Prevention Findings Statement as outlined within Town Code Ch. 175 (<https://ecode360.com/7692720>). You may add the certification to the plans directly or submit under separate cover.

As noted in the Existing Conditions Plan, and the Survey, the FEMA Floodway Area is noted on Lots 5 and 6 of the subject site. The proposed ADA improvements are approximately 500 feet away from the southern edge of Lot 6.

A note has been added to the Site Plan stating “BASED ON FEMA FIRM MAP, MAP NUMBER 36119C0017F, EFFECTIVE DATE SEPTEMBER 28, 2007 AND AS REFLECTED ON THE REFERENCED PROJECT SURVEY, AND EXISTING CONDITIONS PLAN, PORTIONS ARE LOTS 5 AND 6 ARE WITHIN ZONE AE AND ZONE X. THE FLOOD ELEVATION FOR THESE LOTS IS APPROXIMATELY ELEV. 298.5. AS NOTED IN THE GRADING PLAN, THE EXISTING FINISHED FLOOR OF THE BUILDING IS APPROXIMATELY ELEV. 317.5.”

2. There are wetlands onsite. While not directly proposed for disturbance work will occur within 100-ft buffer. Since currently there is no proposed disturbance beyond the existing impervious surfaces, the Applicant’s Engineer shall simply verify and delineate the wetland boundaries and note on the revised site plan.

A wetlands findings statement shall be provided in accordance with Chapter 179 of the Town of Cortlandt Town Code, since work will occur within a regulated buffer. Address all requirements of 179-6 (<https://ecode360.com/7692948>) in question/answer format. This response can be added directly to the plan set or submitted under separate cover by a Professional Engineer.

The requirements and responses to §179-6.B. Wetlands Findings are reflected on the Site Plan. The proposed site improvements will not extend past an existing, previously developed area. The proposed project is the interior renovation of an existing commercial structure with minimized site disturbance to facilitate ADA accessibility compliance and building operations.

3. The Town would like to make the Applicant aware that there is an existing stormwater filtration basin onsite. While no new impervious surface is being created, we would encourage the Applicant to coordinate with the property owner opportunities to improve and enhance stormwater management onsite. Reference is made to the NYSDEC Storm Water Design Manual, Chapter 9, Re-development Activities.

As part of this application, the Applicant will be required to inspect all catch basins post

construction within the proposed limits of disturbance and as demonstrated on your erosion and sedimentation control plans. Any accumulated sedimentation shall be removed from all catch basins and all outfalls shall be photo documented to demonstrate no blockage or accumulated sedimentation.

The proposed project involves disturbance of less than 1-acre and is not subject to NYSDEC stormwater management requirements. The project will also decrease impervious areas compared to existing conditions which will in turn reduce stormwater runoff from the site.

No objection, catch basins will be inspected post construction. Any accumulated sedimentation shall be removed from catch basins and outfalls shall be photo documented to demonstrate no blockage or accumulated sedimentation. This is noted on the Soil Erosion and Sediment Control Plan.

General Comments:

1. Applicant is referred to Chapter 33 of the NYS Building Code, Safeguards During Construction. Requirements shall be incorporated into the submitted plan set.

- a. Show location of dumpsters, temporary debris areas, contractor parking and similar staging needs.

Due to the project scope, exterior site improvements are limited to pavement and curb work. The proposed improvements are limited and most of the construction will be for interior renovations to convert to the Floor and Décor use. The existing parking lot and building interior will be utilized as needed for Contractor means and methods for the proposed construction.

- b. Add a note to lawfully dispose of all material off-site.

A note stating same has been added to the Demolition Plan.

- c. Provide a general construction sequence plan.

A sequence of construction is provided on the Soil Erosion Plan.

2. Add appropriate signage that restricts left turns from the site onto Route 6 / Cortlandt Boulevard. Provide details of the same.

An existing “No Left Turn” sign is indicated on the Site Plan.

3. Show the limits of the existing onsite filtration and detention basin. Coordinate with the property owner if any repair is necessary to restore original functionality. The Owner, Applicant and Town can discuss ongoing MS4 Stormwater Maintenance for the site independent of this application.

The proposed re-development will be decreasing impervious coverage on-site, and no disturbance is proposed within the area of the existing basin. Stormwater Maintenance for existing infrastructure can be discussed independently of this application between the Owner, Applicant and Town.

4. Effort shall be made to restore plantings site wide where past disturbance and encroachment into planting areas has occurred. Revised planting plans shall be incorporated into the Planning Board approving resolution.

Landscape Plan has been revised to incorporate additional, supplemental perimeter plantings as discussed previously with the Town and Professional Staff.

5. In 2022, BL Companies on behalf of a previous applicant submitted a "Culvert Inspection Report," which evaluated the 3'x10' concrete box culvert that links the parking lot to the adjoining property for vehicle access to Route 6 opposite Jerome Drive. This culvert and driveway are an exit from the site.

All recommendations and repairs outlined in the report or proposed by the Applicant's design professional shall be made prior to the release of a certificate of occupancy. The Town recommends coordinating with the Property Owner to discuss the best course of action and timeframe for completion.

The site plan shall also be revised to reference the easement across this culvert and through the adjoining property, since this allows for left turn vehicles on Route 6, opposite Jerome Drive.

Acknowledged. Confirmation to be provided by Property Owner regarding the Culvert Inspection Report.

6. The erosion and sedimentation control plan shall be revised to protect the trench drain across the loading dock(s), include controls along the perimeter of the existing filtration basin, and note requirements for inspection of catch basins and sweeping.

No earthwork or disturbance is proposed within the vicinity of the loading dock area. Additionally, no earthwork is proposed within the vicinity of the existing filtration basin. A note has been added to the Soil Erosion and Sediment Plan stating that all catch basins will be inspected post construction, and any accumulated sedimentation shall be removed, and outfalls shall be photo documented.

Clarify why the construction entrance is right at Route 6? Can this not be installed interior to the site to allow for a bit of runout? Also note that the loading dock entrance will not be used for site access during construction. Otherwise, an additional construction entrance will be required.

Construction entrance has been revised to be further away from Route 6. No earthwork disturbance is proposed near the loading dock entrance. As the site disturbance is limited to the northern side of the site, the loading dock entrance will not be used for site access during construction of the site improvements.

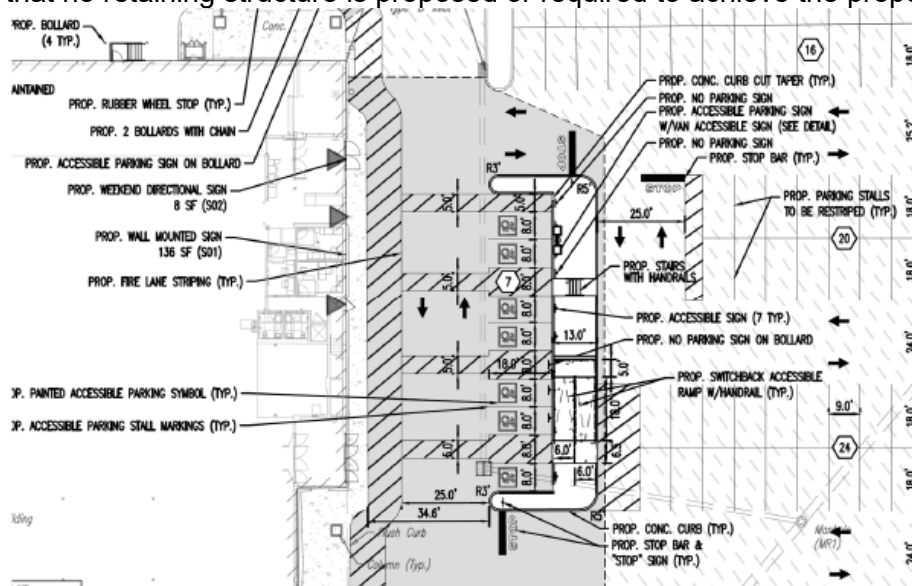
Is a typical stone construction entrance suitable for this site? Perhaps an alternative track out control is warranted since soil disturbance is extremely limited.

Soil disturbance is very limited as part of the redevelopment. A typical stone construction entrance is proposed as recognized in accordance with the New York State Standards and Specifications for Erosion and Sediment Control, "Bluebook".

7. **Advisory Comment:** It is strongly encouraged that efforts be undertaken when resurfacing the parking lot to coordinate areas of milling and filling to improve the pavements cross slope.

Acknowledged.

8. Planning Staff and the Board has already commented about the location of the proposed ADA accessible spaces. Since these are to remain, provide a cross section through and verify that no retaining structure is proposed or required to achieve the proposed grades.



Essentially, we are confirming that based on the design of the proposed grade and slope between the front of proposed ADA spaces and existing parking does not require to be retained and that the steps and switch back ramp are not functioning as such. Otherwise verify they have been designed as retaining structures.

The ramp has been removed and a staircase remains that ties into existing grade. No additional retaining structures are needed to facilitate the grade change as that will be handled within the landscape island area.

9. Show location of any proposed above ground storage tanks, generators, dumpsters and similar enclosures. Currently, the compactor is proposed to be located near the loading docks unscreened.

Dumpsters shall be provided for recyclables and garbage. All shall be located in a screened enclosure per the requirements of Ch. 154 – Dumpsters <https://ecode360.com/33332848>.

As previously stated, this is the re-use of an existing building. The loading dock area (which will contain the new compactor) is screened from the neighboring residential parcels to the northwest of the site. The existing loading dock aligns with the curb cut entrance to East Main Street and is therefore only visible in the portion of the curb cut. The rest of the site's frontage along East Main Street is screened. The existing loading dock and proposed compactor is approximately 200 feet away from East Main Street and approximately 13 feet below the elevation of East Main Street.

Add a note to the plan that all garbage and recycling services shall be from private carting companies. The Town of Cortlandt will not serve the site.

A note has been added to the Site Plan stating same.

10. Add the following notes to the plan sets.

- a. All structures shall be tested for lead, asbestos and other hazardous materials in accordance with the NYS Uniform Fire Prevention and Building Code and NYCRRR by a licensed and certified tester. All hazardous materials shall be properly abated and lawfully disposed of offsite. No removals shall occur until such time as these reports are submitted to the Town of Cortlandt.

Note has been added to the Demolition Plan.

- b. All asphalt pavement removed shall be lawfully disposed of off-site and not mixed with other construction debris. This includes millings.

Note has been added to the Demolition Plan.

- c. All existing utilities (water services, sanitary, telecommunications, power, etc...) to be abandoned shall be excavated and removed from the site.

Note has been added to the Demolition Plan.

- d. All backflow devices must be installed, tested and certified prior to the issuance of a certificate of occupancy.

- i. It shall be the responsibility of building and premises owners to perform required testing and to maintain all backflow preventers and vacuum breakers within the building or on the premises in good working order and to make no piping or other arrangements for the purpose of bypassing backflow devices.

Acknowledged. A note has been added to the Utility Plan.

- ii. Reduced-pressure-principle backflow preventers. Annual testing and inspection schedules shall be established by the district for all reduced-pressure-type backflow preventers. Testing shall be conducted by a licensed plumber, and the device shall bear an inspection certificate tag indicating the date of the latest inspection and the name and address of the plumber who conducted the test. The plumber shall file with the district on

approved forms a report indicating the completion of the test and any repairs that were made. The testing procedure shall be in accordance with the device manufacturer's instructions. All devices shall be tested after their initial installation to assure that they have been installed properly and that debris resulting from the installation has not interfered with the proper functioning of the device

Acknowledged. A note has been added to the Utility Plan.

- iii. Results shall be uploaded to an online management system (BSI) and made accessible to the authorities having approving jurisdiction. This is also required for sanitary grease traps.

Acknowledged. A note has been added to the Utility Plan.

- iv. All commercial meters, backflow devices and appurtenances are purchased and maintained by the facility owners.

Acknowledged. A note has been added to the Utility Plan.

- e. The Applicant is made aware that the entire site must be 100% stabilized prior to the issuance of a certificate of occupancy. Disturbed areas shall be restored and stabilized appropriately and in a timely manner.

Acknowledged and noted on the Soil Erosion Plan.

- f. Prior to the issuance of a certificate of occupancy, an "as-built" survey prepared by a licensed professional land surveyor of the property shall be submitted to the Department of Technical Services.

Understood. Prior to a Certificate of Occupancy, an "as-built" survey shall be provided by a licensed professional land surveyor, noted on the Site Plan.

- g. Prior to the issuance of a Certificate of Occupancy, the Engineer/Architect shall submit a certification addressed to "The Town of Cortlandt Department of Technical Services" that the site work has been completed in accordance with the approved plans on file with the Town and that there are no adverse impacts to adjacent and adjoining neighbors as it pertains to drainage and runoff.

Understood. Prior to a Certificate of Occupancy, the Engineer/Architect shall submit a certification to the Town of Cortlandt Department of Technical Services, noted on the Site Plan.

- h. Prior to the issuance of a Certificate of Occupancy, all repairs as outlined in the "Culvert Inspection Report" prepared by BL Companies dated February 2022 and any additional improvements as required by the Applicant's licensed professional engineer as accepted by the Town shall be completed with certification provided.

Acknowledged. Confirmation to be provided by Property Owner regarding the Culvert Inspection Report.

Please review the enclosed information and should you have any questions or require any additional information, please do not hesitate to contact our office.

Sincerely,

Dynamic Engineering Consultants, PC

A handwritten signature in black ink, appearing to read 'Z. Kamm', followed by a horizontal line.

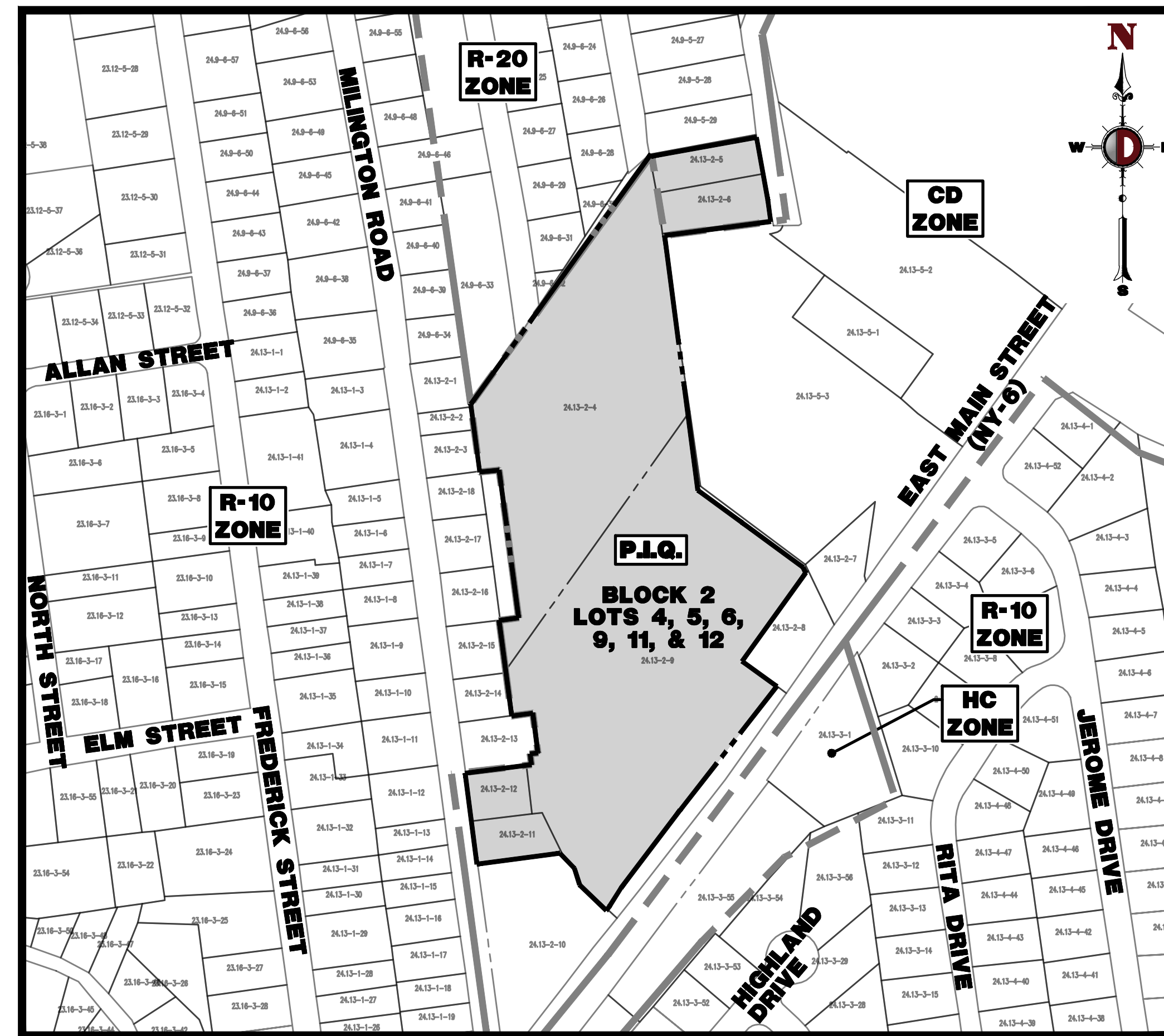
Zachary A. Kamm, PE
Senior Project Manager

Enclosures:
Erin Witt – Floor & Décor

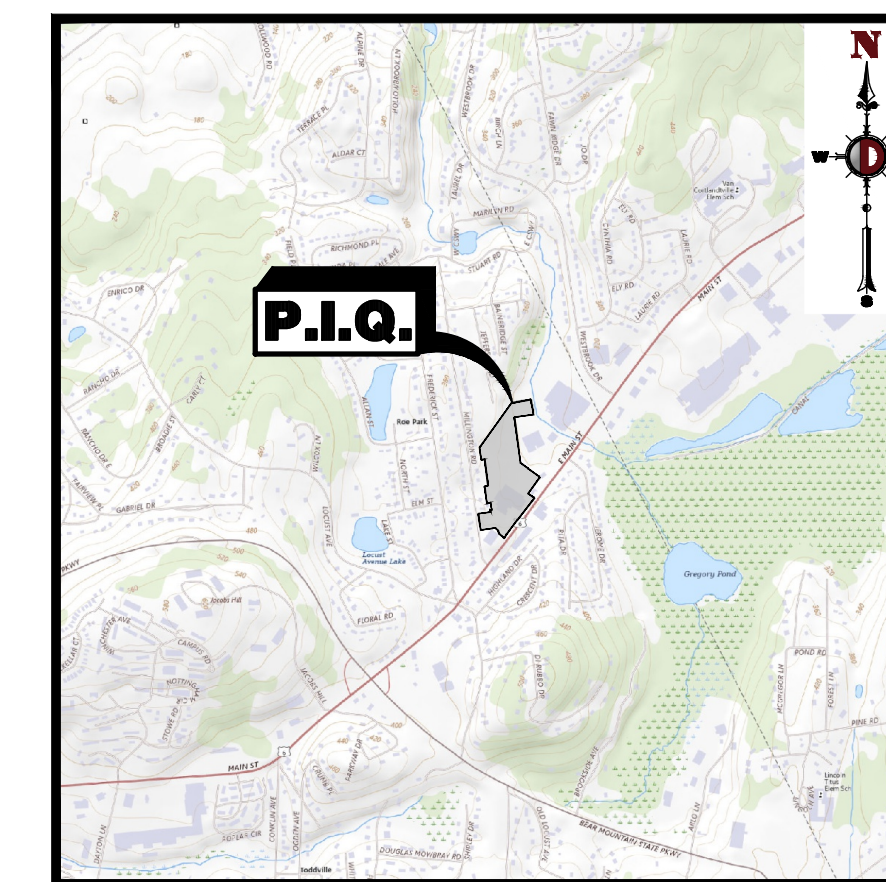
PRELIMINARY AND FINAL SITE PLAN

FOR FLOOR & DÉCOR OUTLETS OF AMERICA INC. PROPOSED FLOOR & DÉCOR

SECTION: 24.13 BLOCK 2, LOTS 4, 5, 6, 9, 11, & 12; TAX MAP SHEET 24.13 - LATEST REV. DATED 10/2015
2094 EAST MAIN STREET (NY-6)
TOWN OF CORTLANDT
WESTCHESTER COUNTY, NEW YORK



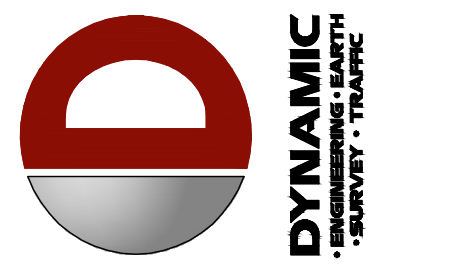
AREA MAP
1" = 200'



KEY MAP
1" = 2000'

DRAWING INDEX	
COVER SHEET	1 of 14
AERIAL MAP	2 of 14
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DEMOLITION PLAN	4 of 14
SITE PLAN	5 of 14
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LANDSCAPE PLAN	7 of 14
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SOIL EROSION & SEDIMENT CONTROL DETAILS	10 of 14
CONSTRUCTION DETAILS	11 - 13 of 14
VEHICLE CIRCULATION PLAN	14 of 14

NOTE:
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REV.	DATE	REV. COMMENTS	BY
3	03/20/25	REVISED PER TOWN COMMENTS	ADY
2	02/20/25	REVISED PER TOWN COMMENTS	DUS
1	02/13/25	REVISED PER TOWN COMMENTS	ADY

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

PROJECT: FLOOR & DÉCOR OUTLETS OF AMERICA INC.
SECTION 24.13, BLOCK 2, LOTS 4, 5, 6, 9, 11 & 12
2094 EAST MAIN STREET (NY-6)
TOWN OF CORTLANDT, WESTCHESTER COUNTY, NEW YORK

DESIGNED BY: LB
CHECKED BY: ZAK
DRAWN BY: DRT
CHECKED BY:

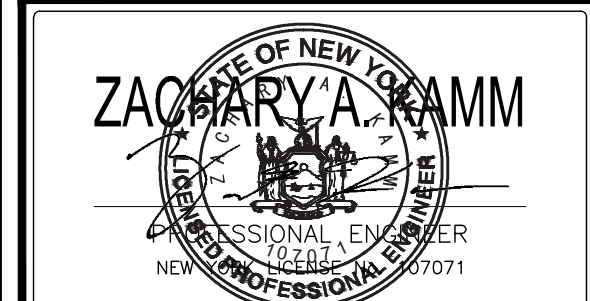
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JOSHUA M. SEWALD
PROFESSIONAL ENGINEER
NEW YORK LICENSE No. 097639

TITLE:
COVER SHEET

SCALE: (H) AS SHOWN DATE: 01/23/2025
PROJECT No: 5079-24-04330

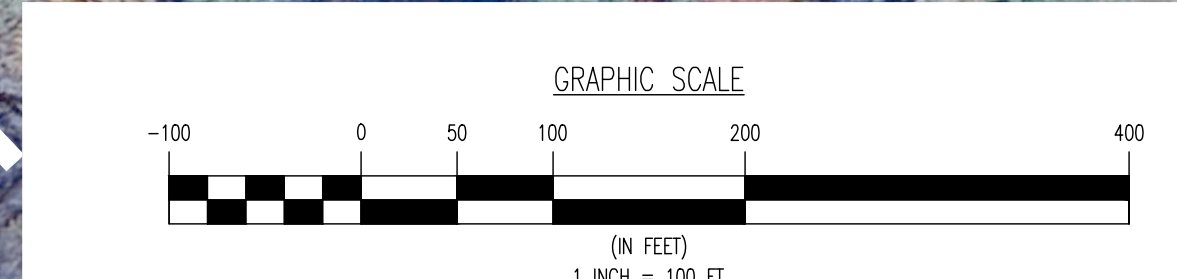
SHEET No: **1** OF 14 Rev. #: 3

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File: \\dync.local\projects\5079\5079 floor and decor\24-04330 cortlandt ny\dwg\Site Plans\50792404330sk3.dwg, ---> 01 COVER SHEET

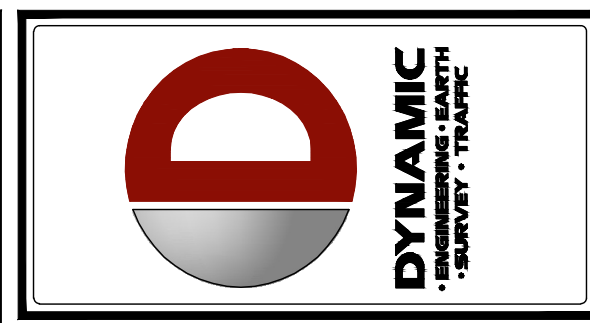
Plotted: 03/20/25 - 2:24 PM, By: aventurini, Product: Ver: 25.0
 File: \\spsc.local\cadd\Drawings\5079\24\04\330\corlanet_ny\Draw Site Plans\5079\24\04\330\corlanet_24-04330.dwg, ---> 02 AERIAL MAP



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THE AERIAL MAPS DEPICTED ON THIS PLAN IS BASED ON IMAGERY PREPARED BY DIGITAL GLOBE, GEO EYE AND USDA FARM SERVICE AGENCY. THIS IMAGERY WAS PROVIDED BY GOOGLE MAPS ON 10/19/2024. THE CONDITIONS OF THE SITE AND SURROUNDING AREAS MAY HAVE CHANGED SINCE THE DATE OF AERIAL PHOTOGRAPHY AND THEREFORE THIS PLAN MAY NOT ACCURATELY REFLECT ALL CURRENT EXISTING CONDITIONS.



REV.	DATE	COMMENTS	BY
1	02/13/25	REVISED PER CODE DD'S / PERMIT / BD	ADV
2	02/20/25	REVISED PER TOWN COMMENTS	DIS
3	03/20/25	REVISED PER TOWN COMMENTS	ADV

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

DRAWN BY: DRT
 CHECKED BY: LB
 DESIGNED BY: ZAK
 CREDIT BY:

PROJECT: FLOOR & DECOR OUTLETS OF AMERICA INC.
 PROPOSED FLOOR & DECOR
 SECTION 24.13, BLOCK 2, LOTS 4, 5, 6, 9, 11 & 12
 2094 EAST MAIN STREET (NY-6)
 TOWN OF CORTLANDT, WESTCHESTER COUNTY, NEW YORK

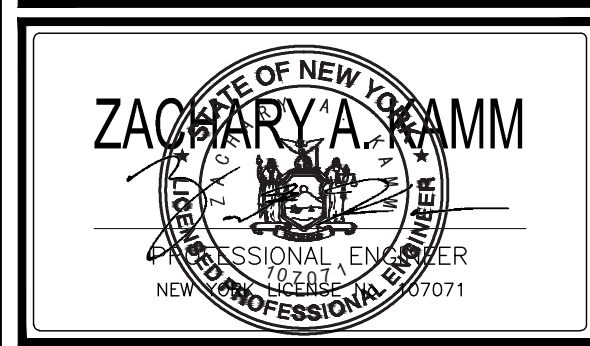
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 PROFESSIONAL ENGINEER
 NEW YORK LICENSE No. 097639

TITLE:
AERIAL MAP

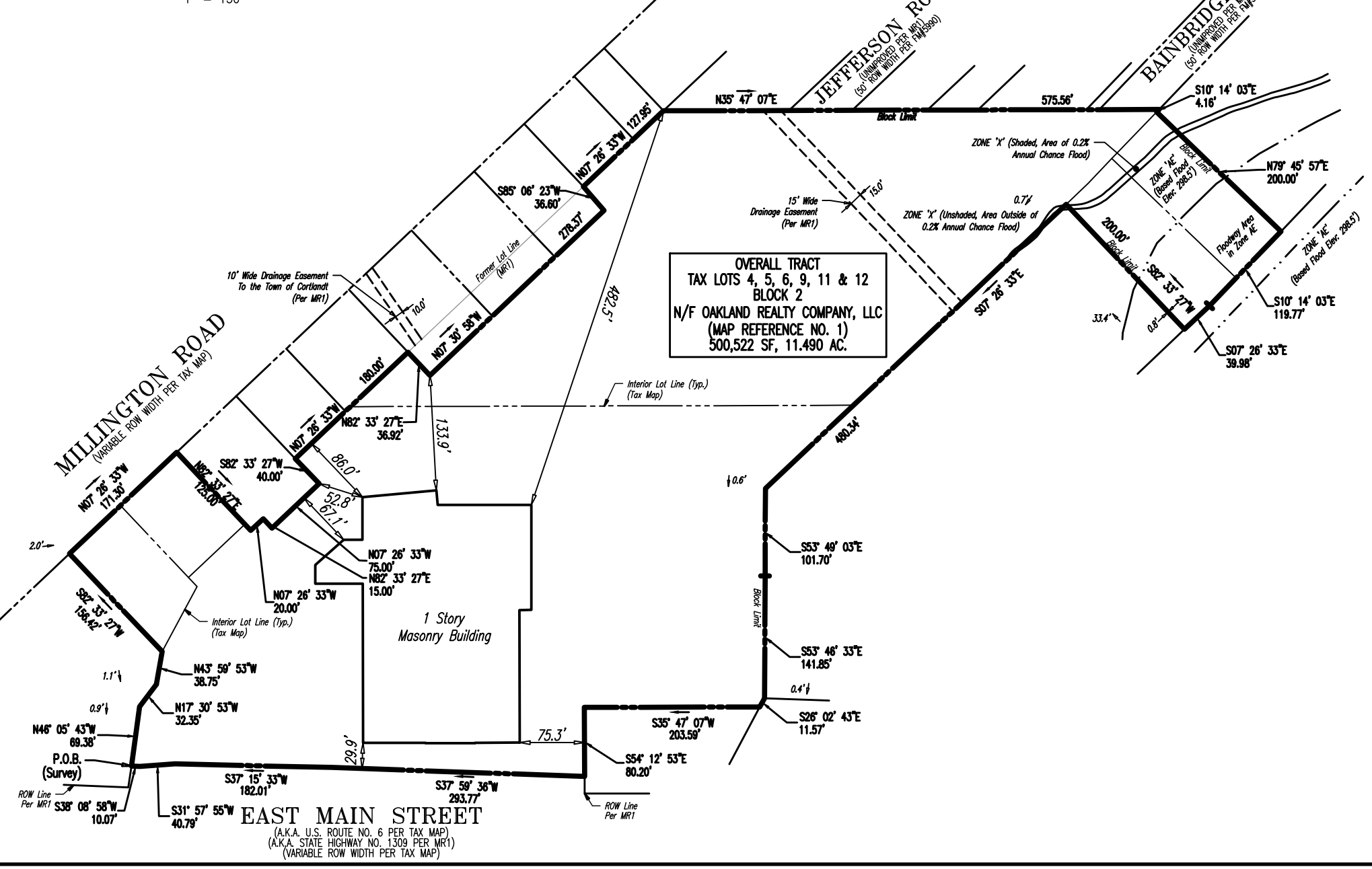
SCALE: (H) 1" = 100'
 (V) DATE: 01/23/2025

PROJECT No: 5079-24-04330

SHEET No: **2** OF 14

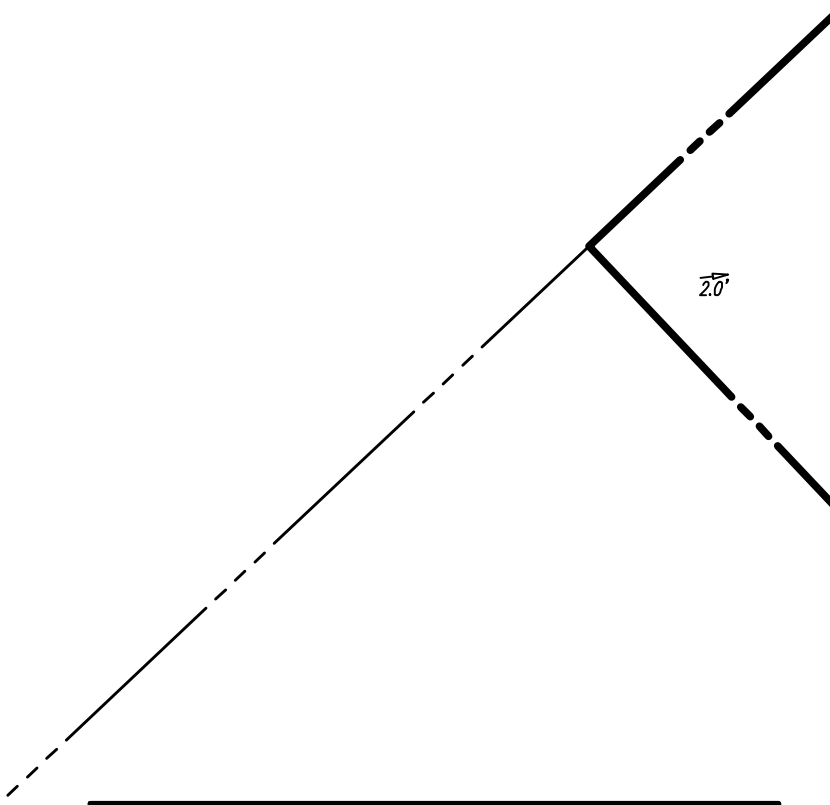
Rev. #: 3

OVERALL SITE BOUNDARY
1" = 150'



GENERAL NOTES

- THIS PLAN HAS BEEN PREPARED BASED ON REFERENCES INCLUDING:
BOUNDARY SURVEY AND TOPOGRAPHIC SURVEY
DYNAMIC SURVEY, LLC
50 PARK PLACE, SUITE 901
NEWARK, NJ 07102
SURVEYOR FILE NO: 5079 24-04330
DATED 01/15/2025
- THE LOT AND BLOCK NUMBERS SHOWN ARE BASED ON THE DIGITAL TAX MAP OF THE TOWN OF CORTLANDT, WESTCHESTER COUNTY, NEW YORK.
- HORIZONTAL DATUM - NAD 83 (2011), BASED ON GPS FIELD OBSERVATIONS PERFORMED BY DYNAMIC SURVEY ON DECEMBER 20, 2024, UTILIZING THE LEICA RX CORS NETWORK.
- VERTICAL DATUM - NAVD 88 (GEOID 18), BASED ON GPS FIELD OBSERVATIONS PERFORMED BY DYNAMIC SURVEY ON DECEMBER 20, 2024, UTILIZING THE LEICA RX CORS NETWORK.
- BY GRAPHICAL PLOTTING A PORTION OF THE PREMISES IS LOCATED IN ZONE 'X' (UNSHADED, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN), A PORTION IN ZONE 'Y' (SHADED, AREAS OF 0.2% ANNUAL CHANCE FLOOD PLAIN), A PORTION IN ZONE 'Z' (EL 299.5, SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD) AND A PORTION IN ZONE 'AE' (FLOODWAY AREAS IN ZONE 'AE' ARE FLOOD INSURANCE RATE MAP NUMBER: 361900017, COMMUNITY NAME: TOWN OF CORTLANDT, EFFECTIVE DATE: SEPTEMBER 28, 2007.
- NO WETLANDS DELINEATION MARKERS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK. THE EXISTENCE OR NONEXISTENCE OF WETLANDS OR OPEN WATERS THAT MAY BE REGULATED BY THE STATE OF NEW YORK AND/OR THE GOVERNMENT OF THE UNITED STATES IS NOT A PART OF THIS SURVEY.



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LEGEND

---	PROPERTY LINES
---	OFF-SITE PROPERTY LINES
---	EXISTING MAJOR CONTOUR & ELEVATION
---	EXISTING MINOR CONTOUR & ELEVATION
---	APPROX. LOC. EXIST. UNDERGROUND CHIEF LINES
---	APPROX. LOC. EXIST. UNDERGROUND ELECTRIC LINES
---	APPROX. LOC. EXIST. UNDERGROUND FIBER OPTIC LINES
---	APPROX. LOC. EXIST. UNDERGROUND GAS LINES
---	APPROX. LOC. EXIST. UNDERGROUND WATER LINES
---	APPROX. LOC. EXIST. UNDERGROUND FIREWORK LINES
---	APPROX. LOC. EXIST. UNDERGROUND SHIMMY SHIMMY LINES
---	APPROX. LOC. EXIST. UNDERGROUND STORM SEWER LINES
---	APPROX. LOC. EXIST. UNDERGROUND TELEPHONE LINES
---	APPROX. LOC. EXIST. UNDERGROUND WATER LINES
---	EXISTING BARBED WIRE FENCE
---	EXISTING BOARD ON BOARD FENCE
---	EXISTING DOWN LINE FENCE
---	EXISTING POST AND RAIL FENCE
---	EXISTING STOCKADE FENCE
---	EXISTING VINYL FENCE
---	EXISTING EDGE OF WATER
---	EXISTING WETLANDS LINES
---	EXISTING SANITARY SEWER
---	EXISTING STORM SEWER
---	UNDERGROUND UTILITY QUALITY LEVEL
---	EXISTING/PROPOSED
---	UTILITY POLE
---	MONITORING WELL
---	WETLAND FLAG
---	BORING LOCATION
---	FIRE HYDRANT
---	TEST PIT LOCATION
---	MAL BOX
---	WATER METER
---	GAS VALVE
---	LIGHTED BOLLARD
---	GAS METER
---	LIGHT POLE
---	ELECTRIC METER
---	BUILDING LIGHT
---	ELECTRIC BOX
---	SHED BOX LIGHT
---	WELL
---	CLEAR CUT
---	WATER SHUT OFF VALVE
---	DOWN SPOUT
---	EXCEPTION
---	TRAFFIC LIGHT
---	TELEPHONE BOX
---	PARKING STALL COUNT
---	VALVE UNKNOWN
---	SHRUB

EAST MAIN STREET
(A.K.A. U.S. ROUTE NO. 6 PER TAX MAP)
(A.K.A. STATE HIGHWAY NO. 1309 PER M.R.I.)
(VARIABLE ROW WIDTH PER TAX MAP)

DYNAMIC SURVEY & ENGINEERING

<p>THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION</p>	<p>PROJECT: FLOOR & DECOR OUTLETS OF AMERICA, INC. SECTION 24.1.3, BLOCK 2, LOTS 4, 5, 6, 9, 11 & 12 2094 EAST MAIN STREET (NY-6) TOWN OF CORTLANDT, WESTCHESTER COUNTY, NEW YORK</p>
<p>OWNER: [] DESIGNED BY: [] CHECKED BY: []</p>	<p>DATE: [] REVISED PER TOWN COMMENTS: [] REVISED PER TOWN COMMENTS: [] REVISED PER TOWN COMMENTS: []</p>

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ZACHARY A. HAMM
PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 130701

JOSHUA M. SEWALD
PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 097639

TITLE: **EXISTING CONDITIONS PLAN**

SCALE: (H) 1" = 30'
(V) 1" = 30'

DATE: 01/23/2025

PROJECT NO: 5079-24-04330

SHEET NO: **3** OF 14

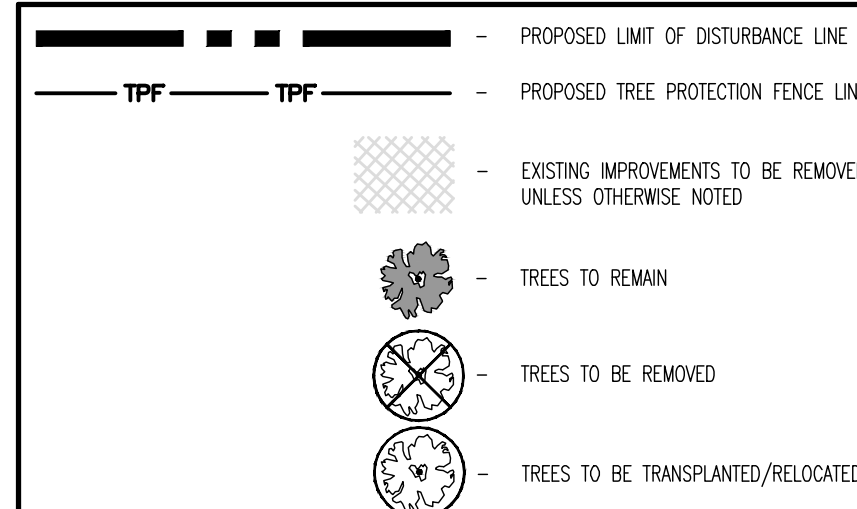
Plotted: 03/20/25 - 2:25 PM, By: aventurini, Product Ver: 25.0
 File: \\spec.local\cadd\Projects\5079 24-04330 Cortlandt\Drawings\5079 24-04330 EDC.dwg, --- 03 EXISTING CONDITIONS PLAN

DEMOLITION NOTES

- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
- COMPLETE DEMOLITION WORK ABOVE EACH FLOOR OR TIER BEFORE DISTURBING ANY OF THE SUPPORTING MEMBERS OF THE LOWER LEVELS.
- DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS.
- REMOVE STRUCTURAL FRAMING MEMBERS AND LOWER THEM TO THE GROUND.
- BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY OWNER.
- LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE STRUCTURE AND REMOVE MATERIALS SO AS TO NOT IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMES.
- PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING AND SUPPORTS TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED (AND ADJACENT FACILITIES, IF APPLICABLE).
- DEMOLISH AND REMOVE ALL FOUNDATION WALLS, FOOTINGS AND OTHER MATERIALS WITHIN THE AREA OF THE DESIGNATED FUTURE BUILDING. ALL OTHER FOUNDATION SYSTEMS, INCLUDING BASEMENTS, SHALL BE DEMOLISHED TO A DEPTH OF NOT LESS THAN ONE FOOT BELOW PROPOSED PAVEMENT OR BREAK BASEMENT FLOOR SLABS. SEAL ALL OPEN UTILITY LINES WITH CONCRETE. CONTRACTOR TO REVIEW STRUCTURE PRIOR TO DEMOLITION TO DETERMINE IF BASEMENT, CRAWL SPACE OR ANY SUB-STRUCTURE EXISTS. ANY SUB-STRUCTURE, INCLUDING BASEMENTS SHALL BE REMOVED IN ITS ENTIRETY OR AS DIRECTED BY OWNER.
- ERECT AND MAINTAIN COVERED PASSAGEWAYS IN ORDER TO PROVIDE SAFE PASSAGE FOR PERSONS AROUND THE AREA OF DEMOLITION. CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT DAMAGE AND PERSONAL INJURY TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS. PLACE THE SAFETY AND PROTECTION OF THE SURROUNDING COMMUNITY AND PROPERTY AT THE HIGHEST PRIORITY.
- REFRAIN FROM USING ANY EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
- CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF OWNER AND ANY APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
- USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
- ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
- COMPLETELY FILL BELOW GRADE AREAS AND HOLES RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTION IN ORDER TO ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY. GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
- REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON THE SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
- DISCONNECT, SHUT OFF AND SEAL IN CONCRETE ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION WORK FOR POSITION ALL UTILITY DRAINAGE AND SANITARY LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO ENSURE THE CONTINUATION OF SERVICE.

- NOTES**
- IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM OR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
 - CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
 - ALL EXISTING UTILITIES TO BE ABANDONED SHALL BE DISCONNECTED AND CAPPED AT THE MAIN FOR WATER, AT THE CLEAN-OUT FOR SEWER AND THE SHUT-OFF VALVE OR MAIN FOR GAS IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY REQUIREMENTS.
 - ALL EXISTING UTILITIES TO BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY COMPANY REQUIREMENTS.
 - CONTRACTOR SHALL LAWFULLY DISPOSE OF ALL MATERIAL OFF-SITE.
 - ALL STRUCTURES SHALL BE TESTED FOR LEAD, ASBESTOS AND OTHER HAZARDOUS MATERIALS IN ACCORDANCE WITH THE NYS UNIFORM FIRE PREVENTION AND BUILDING CODE AND NYCDRR BY A LICENSED AND CERTIFIED TESTER. ALL HAZARDOUS MATERIALS SHALL BE PROPERLY ABATED AND LAWFULLY DISPOSED OF OFF-SITE. NO REMOVALS SHALL OCCUR UNTIL SUCH TIME AS THESE REPORTS ARE SUBMITTED TO THE TOWN OF CORTLANDT.
 - ALL ASPHALT PAVEMENT REMOVED SHALL BE LAWFULLY DISPOSED OF OFF-SITE AND NOT MIXED WITH OTHER CONSTRUCTION DEBRIS. THIS INCLUDES MILLINGS.
 - ALL EXISTING UTILITIES (WATER SERVICES, SANITARY, TELECOMMUNICATIONS, POWER, ETC.) TO BE ABANDONED SHALL BE EXCAVATED AND REMOVED FROM THE SITE.
 - ANY ON-SITE GREASE TRAPS OR HOLDING TANKS NO LONGER NECESSARY SHALL BE PROPERLY DECOMMISSIONED, ABANDONED AND/OR REMOVED FROM THE SITE, DISPOSED OF IN A LAWFUL MANNER.

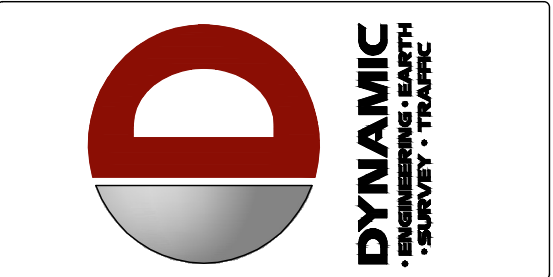
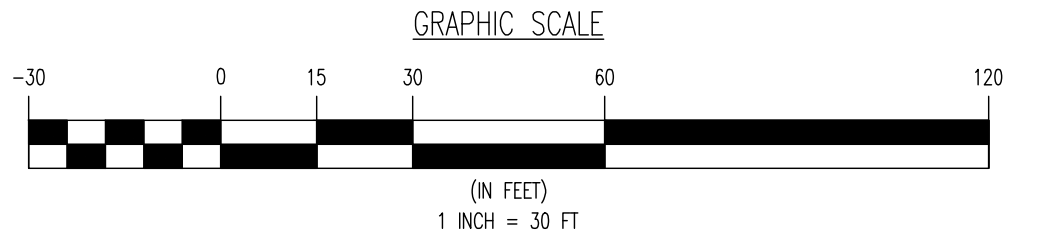
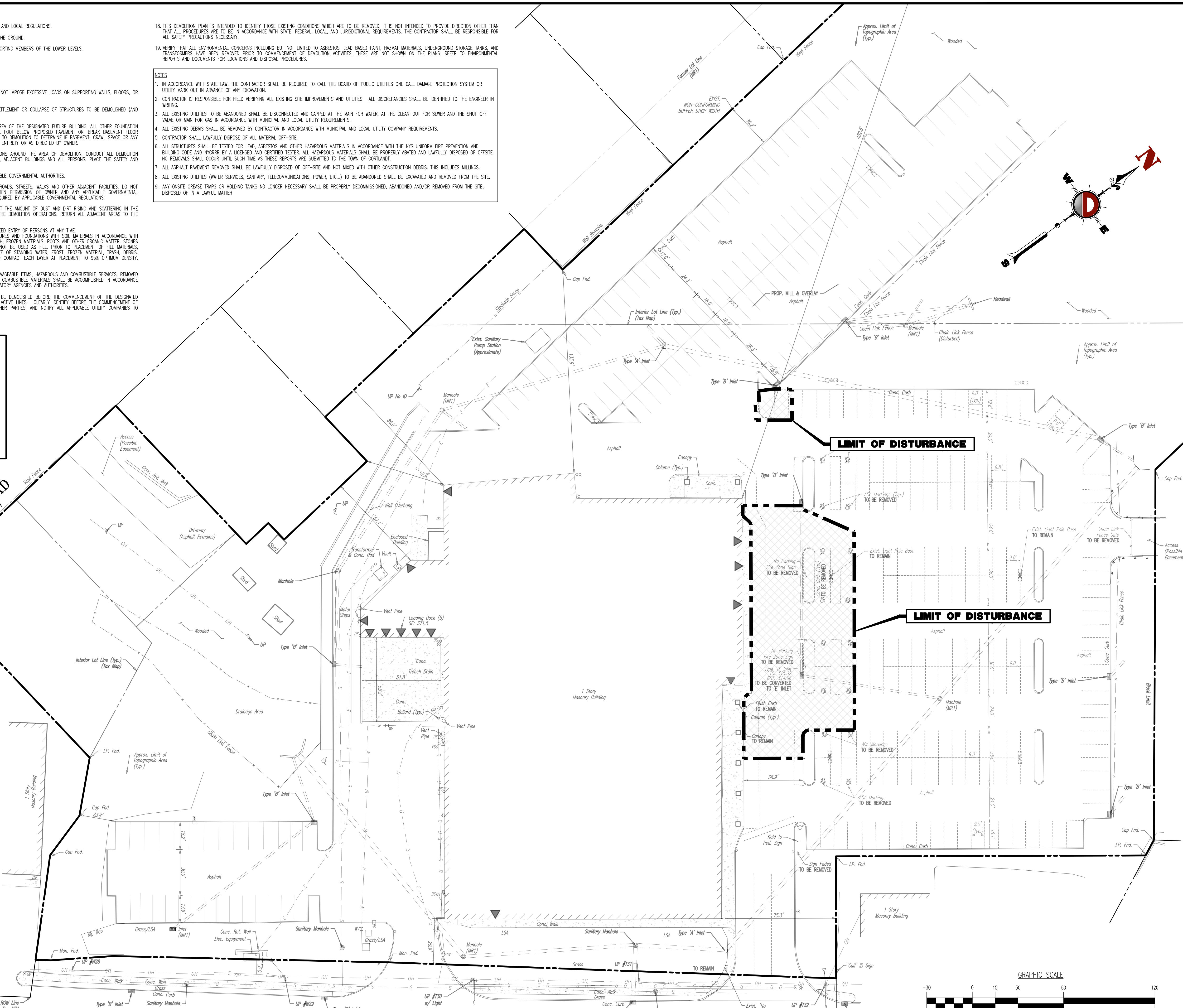
DEMOLITION PLAN LEGEND



NOTE:
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MILLINGTON ROAD
(VARIABLE ROW WIDTH PER TAX MAP)

EAST MAIN STREET
(A.K.A. U.S. ROUTE NO. 6 PER TAX MAP)
(A.K.A. STATE HIGHWAY NO. 1309 PER MR1)
(VARIABLE ROW WIDTH PER TAX MAP)



REV.	DATE	COMMENTS	BY
1	02/13/24	REVISED PER CODE DS / PERMIT / BID	ADV
2	02/20/24	REVISED PER TOWN COMMENTS	DUS
3	03/20/25	REVISED PER TOWN COMMENTS	ADV

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PROJECT: **FLOOR & DECOR OUTLETS OF AMERICA INC.**
SECTION 24.1.3, BLOCK 2, LOTS 4, 5, 6, 9, 11 & 12
2094 EAST MAIN STREET (NY-6)
TOWN OF CORTLANDT, WESTCHESTER COUNTY, NEW YORK

DESIGNED BY: LB
CHECKED BY: ZAK
CREATED BY: ZAK

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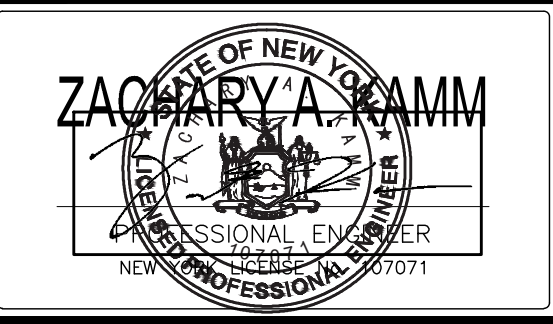
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JOSHUA M. SEWALD
PROFESSIONAL ENGINEER
NEW YORK LICENSE No. 097639

TITLE:
DEMOLITION PLAN

SCALE: (H) 1" = 30'
(V) 1" = 15'
DATE: 01/23/2025

PROJECT No: 5079-24-04330
SHEET No: **4** OF 14
Rev. #: 3

Plotted: 03/20/25 - 2:25 PM, By: oventurini, Product Ver: 25.0
File: \\spsc.local\cadd\projects\5079 floor and decor\24-04330\cortlandt ny\dwg\Site Plans\50792404330SR3.dwg, ---> 04 DEMOLITION PLAN

GENERAL NOTES

- 1. THIS PLAN HAS BEEN PREPARED BASED ON REFERENCES INCLUDING:
BOUNDARY, LOCATION AND TOPOGRAPHIC SURVEY
DYNAMIC SURVEY, LLC
50 PARK PLACE, SUITE 901
NEWARK, NJ 07102
SURVEYOR FILE NO: 5079-24-04330
DATED 01/03/2025
PROPOSED FLOOR & DECOR
SEAM ARCHITECTS
33 WALL WILMINGTON ROAD, SUITE 300A
HUNTINGTON STATION, NY 11746
JOB NUMBER: 5079-24
DATED 12/6/24

Table with 4 columns: ZONE REQUIREMENT, ZONE CD, EXISTING, PROPOSED. Rows include MINIMUM LOT AREA, MINIMUM LOT WIDTH, MINIMUM YARD, etc.

- 9. PARKING REQUIREMENTS
A. OFF-STREET PARKING FACILITIES WHICH SERVE A SITE IN EXISTENCE ON THE EFFECTIVE DATE OF CHAPTER 307 SHALL NOT BE REDUCED IN NUMBER OR CHANGED IN DESIGN CONTRARY TO THE REQUIREMENTS IN ORDINANCE CHAPTER 307...

Table with 4 columns: MINIMUM DIMENSIONS OF PARKING SPACES (FEET), ANGLE OF PARKING, STALL WIDTH, STALL DEPTH, MANEUVERING AISLE WIDTH.

- 10. THE APPLICANT REQUESTS ANY AND ALL SUBMISSION WAIVERS THAT ARE NOT SPECIFICALLY IDENTIFIED HEREIN. TESTIMONY WILL BE SUPPLIED AT THE PUBLIC HEARING TO SUPPORT SAID SUBMISSION WAIVERS.
11. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED...

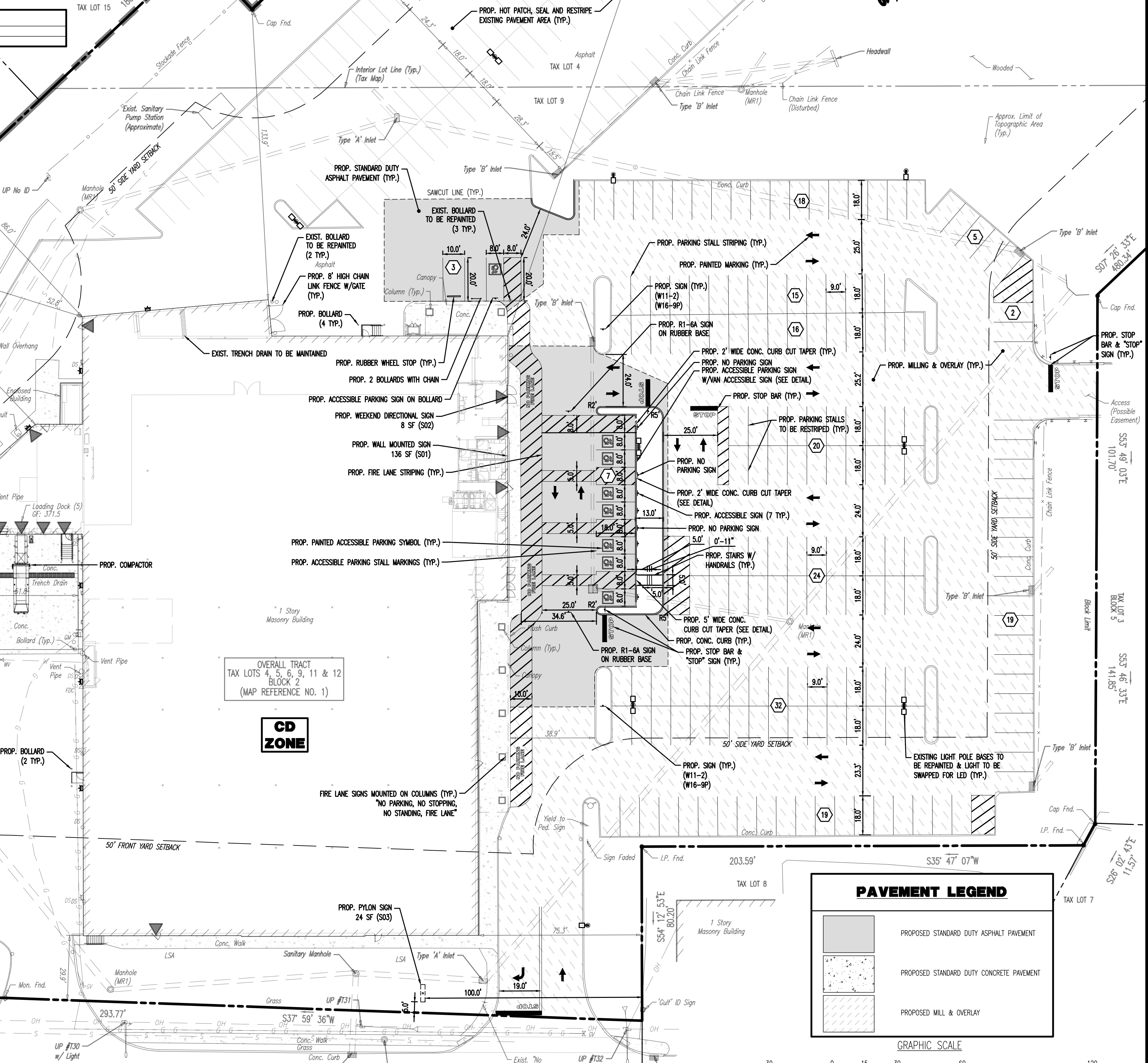
Table with 4 columns: SIGN, CD DISTRICT REQUIREMENTS (§245 TABLE 1), PROPOSED, NUMBER OF SIGNS. Rows include FREESTANDING, BUSINESS WALL SIGNS, NORTH FACADE, etc.

REQUIRED VARIANCES

Table with 2 columns: MAXIMUM WEEKEND DIRECTIONAL SIGN AREA, VARIANCE REQUIRED. Includes notes on signage and materials.

NOTE: IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER AN ITEM IN ANY WAY...

- 25. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED THEREON, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER AND ENGINEER, IT SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK DONE...



PAVEMENT LEGEND and GRAPHIC SCALE. Legend includes Proposed Standard Duty Asphalt Pavement, Proposed Standard Duty Concrete Pavement, and Proposed Mill & Overlay. Graphic scale shows 1 inch = 30 feet.

EAST MAIN STREET (A.K.A. U.S. ROUTE NO. 6 PER TAX MAP) (A.K.A. STATE HIGHWAY NO. 1309 PER MAP) (VARIABLE ROW WIDTH PER TAX MAP)

FLOOD DAMAGE PREVENTION FINDINGS STATEMENT
BASED ON FEMA FIRM MAP MAP NUMBER 36119C0017F, EFFECTIVE DATE SEPTEMBER 28, 2007 AND AS REFLECTED ON THE REFERENCED PROJECT SURVEY AND EXISTING CONDITIONS PLAN, PORTIONS OF LOTS 5 AND 6 ARE WITHIN ZONE AE AND ZONE X. THE FLOOD ELEVATION FOR THESE LOTS IS APPROXIMATELY ELEV. 298.5, AS NOTED IN THE GRADING PLAN. THE EXISTING FINISHED FLOOR OF THE BUILDING IS APPROXIMATELY ELEV. 317.5.

Professional Engineer seal for Joshua M. Sewald, New York License No. 097639. Includes project title 'SITE PLAN', scale '1" = 30'', date '01/23/2025', and sheet number '5'.

Plotted: 03/20/25 - 2:25 PM, By: aventurini, Product Ver: 25.0
File: \\spsc.local\cadd\projects\5079 floor and decor\24-04330 corlandt_ny\dwg\Site Plans\507924\43305S3.dwg, 05 SITE PLAN

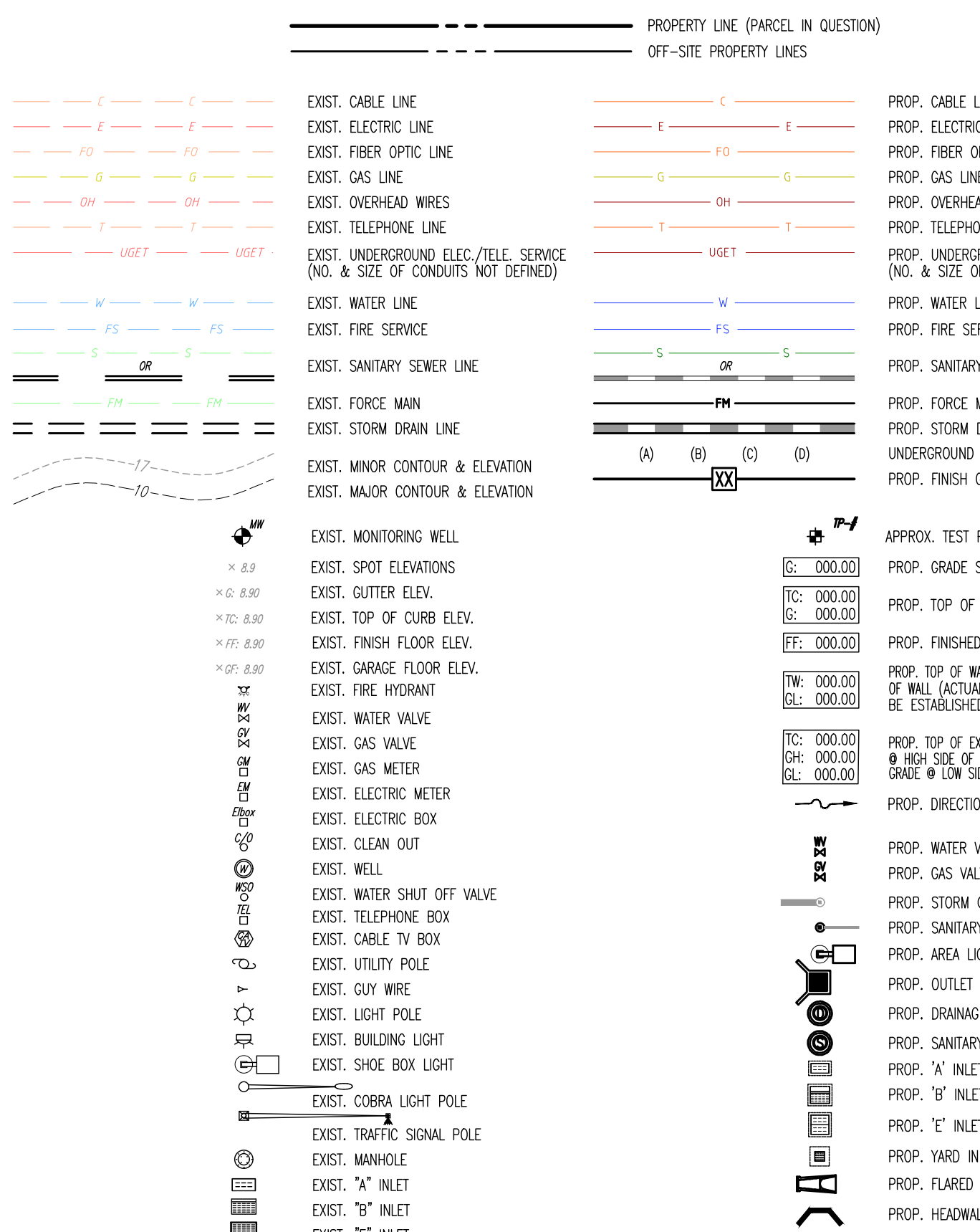
UTILITY NOTES

- 1. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION...

DRAINAGE NOTES

- 1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER & SEWER DEPARTMENTS TO MARK-OUT THEIR UTILITIES...

GRADING/UTILITY GRAPHIC LEGEND



GRADING NOTES

- 1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT...

ADA NOTES

ALL SLOPES INDICATED ARE ACTUAL. CONTRACTOR TO CONSTRUCT IMPROVEMENTS IN COMPLIANCE WITH THE LATEST ADA GUIDELINES AND BUILDING CODE REQUIREMENTS...

- SIDEWALKS/ ACCESSIBLE ROUTES: WIDTH: 36" MIN. EXCLUSIVE OF THE WIDTH OF ANY CURB; RUNNING SLOPE: 1:20 (5%) MAX. (4.5% MAX. PREFERRED FOR NEW CONSTRUCTION)...

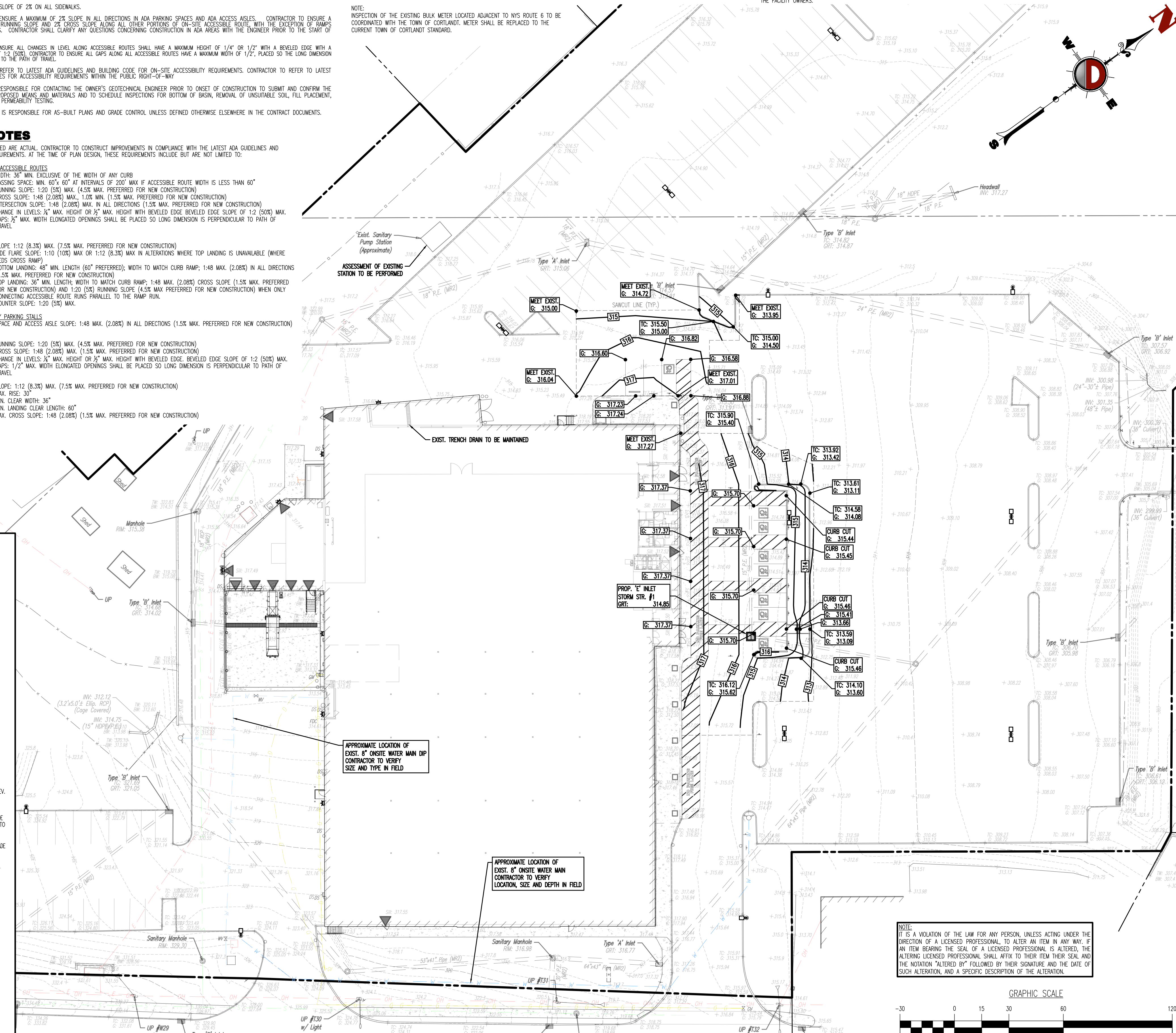
EXISTING UTILITY NOTES

EXISTING WATER SERVICE NOTE: CONTRACTOR TO LOCATE AND UTILIZE EXISTING WATER SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING WATER SERVICE LINE AND CAP AT MAN IN R.O.W. IN ACCORDANCE WITH THE LOCAL WATER COMPANY REQUIREMENTS...

NOTE: ALL BACKFLOW DEVICES MUST BE INSTALLED, TESTED AND CERTIFIED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY...

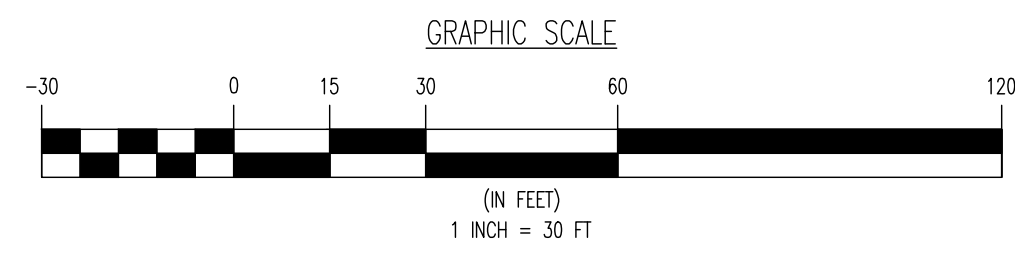
SANITARY CALCULATION:

MAXIMUM 90 EMPLOYEES BETWEEN OPENING AND CLOSING HOURS. OFFICE SPACE ONLY = 1,032 SF. 1,032 SF x 0.1 GPD/SF = 103 GPD. 1, 1,350 GPD + 103 GPD = 1,453 GPD



EAST MAIN STREET (A.K.A. U.S. ROUTE NO. 6 PER TAX MAP) (A.K.A. STATE HIGHWAY NO. 1309 PER MRP) (VARIABLE ROW WIDTH PER TAX MAP)

NOTE: IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER AN ITEM IN ANY WAY...



Project information including Dynamic Engineering logo, project name 'EAST MAIN STREET', date '01/23/2025', sheet number '6', and contact details for Joshua M. Sewald.

Plotted: 03/20/25 - 2:25 PM, By: oventurini, Product Ver: 25.0, File: \\sepc.local\cadd\projects\5079 floor and decor\24-04330 corland\24-04330.dwg, 06 GRADING DRAINAGE & UTILITY PLAN

LIGHTING NOTES

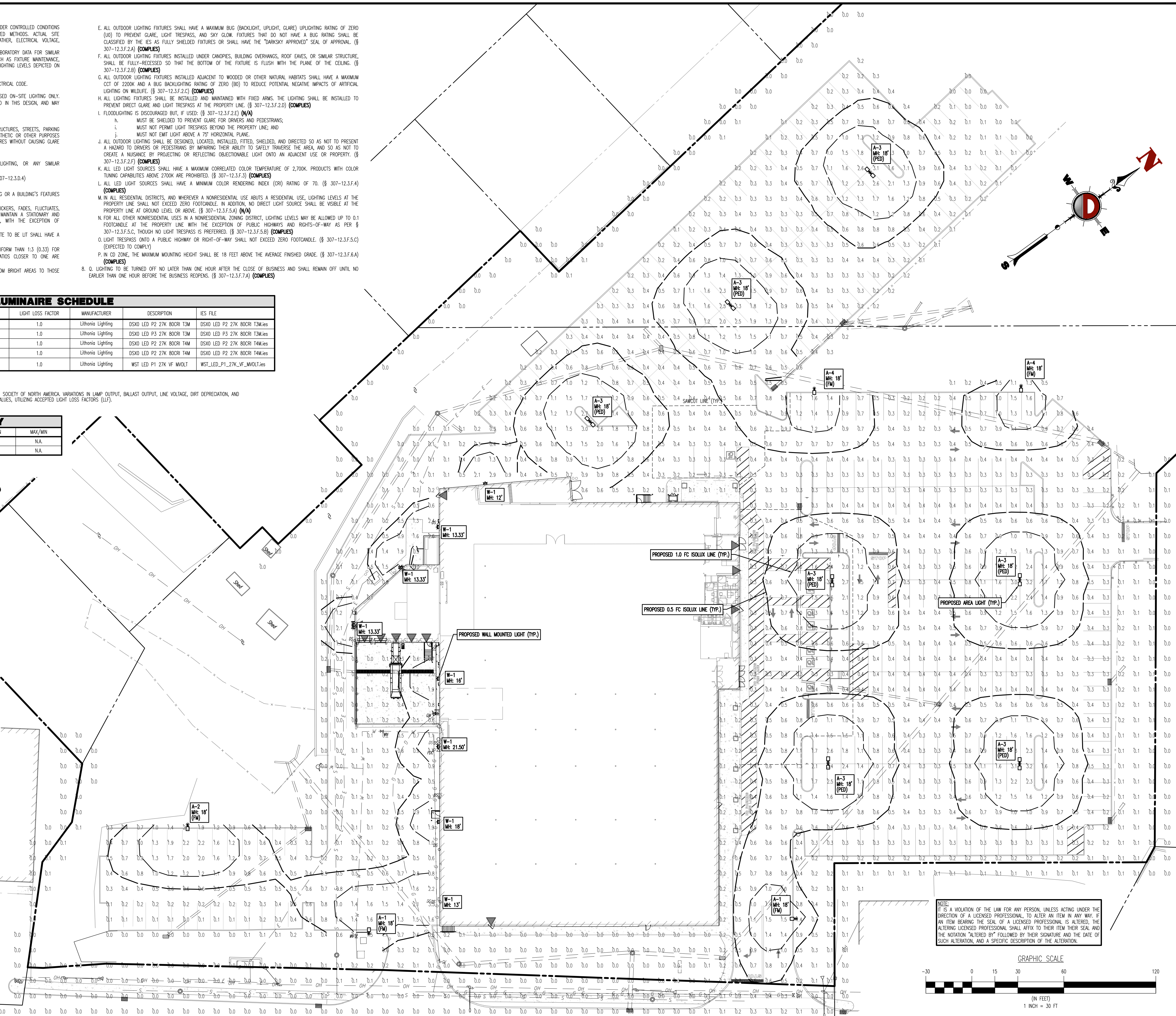
- THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER RELATED VARIABLE FIELD CONDITIONS.
 - ALL EXISTING CONDITIONS LIGHTING LEVELS ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES AND/OR ACTUAL FIELD MEASUREMENTS TAKEN WITH A LIGHT METER. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHTING LEVELS MAY DIFFER AND THE LIGHTING LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED AS APPROXIMATE.
 - CONDUITS SHALL BE INSTALLED A MINIMUM OF 2 FEET BEHIND GUIDELINE POSTS.
 - ALL WIRING METHODS AND EQUIPMENT CONSTRUCTION SHALL CONFORM TO THE CURRENT NATIONAL ELECTRICAL CODE.
 - REFER TO ARCHITECTURAL PLANS FOR SITE WIRING DIAGRAM.
 - THIS PLAN IS PREPARED SPECIFICALLY TO ANALYZE THE LIGHTING LEVELS GENERATED BY THE PROPOSED ON-SITE LIGHTING ONLY. EXISTING LIGHT FIXTURES BEYOND THE EXTENTS OF THIS DEVELOPMENT/PROPERTY ARE NOT MODELED IN THIS DESIGN, AND MAY ALTER ACTUAL LIGHT LEVELS AT THE PROPERTY LINES.
 - LIGHTING REQUIREMENTS
 - THE FOLLOWING OUTDOOR LIGHTING SHALL BE PROHIBITED: (§ 307-12.3.0):
 - UPLIGHTING IS PROHIBITED. EXTERNALLY LIT SIGNS, DISPLAYS, BUILDINGS, STRUCTURES, STREETS, PARKING AREAS, RECREATIONAL AREAS, LANDSCAPING, AND OTHER OBJECTS LIT FOR AESTHETIC OR OTHER PURPOSES SHALL BE ILLUMINATED ONLY WITH STEADY, STATIONARY, FULLY SHIELDED FIXTURES WITHOUT CAUSING GLARE OR LIGHT TRESPASS BEYOND THE PROPERTY LINE. (§ 307-12.3.0.1)
 - ROOF-MOUNTED AREA LIGHTING IS PROHIBITED. (§ 307-12.3.0.2)
 - THE USE OF SEARCH LIGHTS, STROBE LIGHTS, KLEGG LIGHTS, LASER LIGHTING, OR ANY SIMILAR HIGH-INTENSITY LIGHT IS PROHIBITED. (§ 307-12.3.0.3)
 - THE USE OF MERCURY VAPOR AND METAL HALIDE LAMPS ARE PROHIBITED. (§ 307-12.3.0.4)
 - UNSHIELDED FIXTURES ARE PROHIBITED. (§ 307-12.3.0.5)
 - NEON/TUBE OR ROPE LIGHTING USED TO OUTLINE OR HIGHLIGHT A BUILDING OR A BUILDING'S FEATURES IS PROHIBITED. (§ 307-12.3.0.6)
 - ANY LIGHTING THAT FLASHES, BLINKS, SCINTILLATES, REVOLVES, ROTATES, FLICKERS, FADES, FLUCTUATES, MOVES, RUNS, OR THAT USES ELECTRICAL PULSATION, OR THAT DOES NOT MAINTAIN A STATIONARY AND CONSTANT INTENSITY, COLOR, OR DIRECTION AT ALL TIMES IS PROHIBITED, WITH THE EXCEPTION OF MOTION-ACTIVATED SECURITY LIGHTING. (§ 307-12.3.0.7)
 - PARKING LOTS, PEDESTRIAN WALKWAYS, MAIN BUILDING ENTRANCES, AND OTHER AREAS OF A SITE TO BE LIT SHALL HAVE A MAXIMUM AVERAGE LIGHTING LEVEL OF ONE FOOT-CANDLE. (§ 307-12.3.1.F.1) (COMPLIES)
 - THE UNIFORMITY RATIO (CALCULATED BY DIVIDING MINIMUM/AVERAGE) SHALL NOT BE LESS UNIFORM THAN 1:3 (0.33) FOR ALL PARKING AND TRAFFIC AREAS, OR 1:4 (0.25) FOR PEDESTRIAN AREAS. UNIFORMITY RATIOS CLOSER TO ONE ARE PREFERRED. (§ 307-12.3.1.F.1.C) (COMPLIES)
 - DESIGN SHOULD ESTABLISH A HIERARCHY OF LIGHTING TO ASSURE A SMOOTH TRANSITION FROM BRIGHT AREAS TO THOSE WITH SUBTLED LIGHTING. (§ 307-12.3.1.F.1.D) (COMPLIES)
- ALL OUTDOOR LIGHTING FIXTURES SHALL HAVE A MAXIMUM BUG (BACKLUG, UPLIGHT, GLARE) UPLIGHTING RATING OF ZERO (0) TO PREVENT GLARE, LIGHT TRESPASS, AND SKY GLOW. FIXTURES THAT DO NOT HAVE A BUG RATING SHALL BE CLASSIFIED BY THE IES AS FULLY SHIELDED FIXTURES OR SHALL HAVE THE "DARKSKY APPROVED" SEAL OF APPROVAL. (§ 307-12.3.F.2.A) (COMPLIES)
- ALL OUTDOOR LIGHTING FIXTURES INSTALLED UNDER CANOPIES, BUILDING OVERHANGS, ROOF EAVES, OR SIMILAR STRUCTURE, SHALL BE FULLY RECESSED SO THAT THE BOTTOM OF THE FIXTURE IS FLUSH WITH THE PLANE OF THE CEILING. (§ 307-12.3.F.2.B) (COMPLIES)
- ALL OUTDOOR LIGHTING FIXTURES INSTALLED ADJACENT TO WOODED OR OTHER NATURAL HABITATS SHALL HAVE A MAXIMUM CCT OF 2200K AND A BUG BACKLIGHTING RATING OF ZERO (0) TO REDUCE POTENTIAL NEGATIVE IMPACTS OF ARTIFICIAL LIGHTING ON WILDLIFE. (§ 307-12.3.F.2.C) (COMPLIES)
- ALL LIGHTING FIXTURES SHALL BE INSTALLED AND MAINTAINED WITH FIXED ARMS. THE LIGHTING SHALL BE INSTALLED TO PREVENT DIRECT GLARE AND LIGHT TRESPASS AT THE PROPERTY LINE. (§ 307-12.3.F.2.D) (COMPLIES)
- FLOODLIGHTING IS DISCOURAGED BUT, IF USED: (§ 307-12.3.F.2.E) (N/A)
 - MUST BE SHIELDED TO PREVENT GLARE FOR DRIVERS AND PEDESTRIANS;
 - MUST NOT PERMIT LIGHT TRESPASS BEYOND THE PROPERTY LINE; AND
 - MUST NOT EMIT LIGHT ABOVE A 75° HORIZONTAL PLANE.
- ALL OUTDOOR LIGHTING SHALL BE DESIGNED, LOCATED, INSTALLED, FITTED, SHIELDED, AND DIRECTED SO AS NOT TO PRESENT A HAZARD TO DRIVERS OR PEDESTRIANS BY IMPAIRING THEIR ABILITY TO SAFELY TRAVERSE THE AREA, AND SO AS NOT TO CREATE A NUISANCE BY PROJECTING OR REFLECTING OBJECTIONABLE LIGHT ONTO AN ADJACENT USE OR PROPERTY. (§ 307-12.3.F.2.F) (COMPLIES)
- ALL LED LIGHT SOURCES SHALL HAVE A MAXIMUM CORRELATED COLOR TEMPERATURE OF 2700K. PRODUCTS WITH COLOR TUNING CAPABILITIES ABOVE 2700K ARE PROHIBITED. (§ 307-12.3.F.3) (COMPLIES)
- ALL LED LIGHT SOURCES SHALL HAVE A MINIMUM COLOR RENDERING INDEX (CRI) RATING OF 70. (§ 307-12.3.F.4) (COMPLIES)
- IN ALL RESIDENTIAL DISTRICTS, AND WHEREVER A NONRESIDENTIAL USE ADJACENT TO A RESIDENTIAL USE, LIGHTING LEVELS AT THE PROPERTY LINE SHALL NOT EXCEED ZERO FOOT-CANDLE. IN ADDITION, NO DIRECT LIGHT SOURCE SHALL BE VISIBLE AT THE PROPERTY LINE AT GROUND LEVEL OR ABOVE. (§ 307-12.3.F.5.A) (N/A)
- FOR ALL OTHER NONRESIDENTIAL USES IN A NONRESIDENTIAL ZONING DISTRICT, LIGHTING LEVELS MAY BE ALLOWED UP TO 0.1 FOOT-CANDLE AT THE PROPERTY LINE WITH THE EXCEPTION OF PUBLIC HIGHWAYS AND RIGHTS-OF-WAY AS PER § 307-12.3.F.5.C, THOUGH NO LIGHT TRESPASS IS PREFERRED. (§ 307-12.3.F.5.B) (COMPLIES)
- LIGHT TRESPASS OFF A PUBLIC HIGHWAY OR RIGHT-OF-WAY SHALL NOT EXCEED ZERO FOOT-CANDLE. (§ 307-12.3.F.5.C) (EXPECTED TO COMPLY)
- IN CD ZONE, THE MAXIMUM MOUNTING HEIGHT SHALL BE 18 FEET ABOVE THE AVERAGE FINISHED GRADE. (§ 307-12.3.F.6.A) (COMPLIES)
- LIGHTING TO BE TURNED OFF NO LATER THAN ONE HOUR AFTER THE CLOSE OF BUSINESS AND SHALL REMAIN OFF UNTIL NO EARLIER THAN ONE HOUR BEFORE THE BUSINESS REOPENS. (§ 307-12.3.F.7.A) (COMPLIES)

LIGHTING LUMINAIRE SCHEDULE							
SYMBOL	QUANTITY	LABEL	MOUNTING HEIGHT	ARRANGEMENT	LIGHT LOSS FACTOR	MANUFACTURER	DESCRIPTION
	2	A-1	18	Single	1.0	Lithonia Lighting	DSXO LED P2 27K 80CR T3M
	1	A-2	18	Single	1.0	Lithonia Lighting	DSXO LED P3 27K 80CR T3M
	7	A-3	18	Back-Back	1.0	Lithonia Lighting	DSXO LED P2 27K 80CR T4M
	2	A-4	18	Single	1.0	Lithonia Lighting	DSXO LED P2 27K 80CR T4M
	8	W-1	12, 13, 13.33, 16, 18, 21.5	Single	1.0	Lithonia Lighting	WST LED P1 27K VF MVOLT

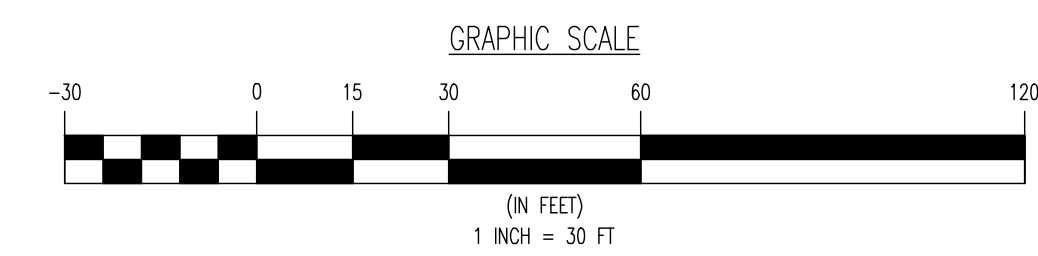
SD CURVE LINES ARE MAINTAINED AND SHOWN AT 1.0, 0.5, AND 0.1 FC.
 (FM) = FLUSH MOUNT FOUNDATION (PED) = PEDESTAL FOUNDATION
 THE CALCULATIONS SHOWN WERE MADE UTILIZING ACCEPTED PROCEDURES OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA. VARIATIONS IN LAMP OUTPUT, BALLAST OUTPUT, LINE VOLTAGE, DIRT DEPRECIATION, AND OTHER FACTORS MAY AFFECT ACTUAL RESULTS. UNLESS OTHERWISE STATED, ALL RESULTS ARE MAINTAINED VALUES, UTILIZING ACCEPTED LIGHT LOSS FACTORS (LLF).

STATISTICAL AREA SUMMARY					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PAVEMENT	0.7	3.8	0.0	N.A.	N.A.
PROPERTY-LINE	0.0	0.1	0.0	N.A.	N.A.

MILLINGTON ROAD
 (VARIABLE ROW WIDTH PER TAX MAP)

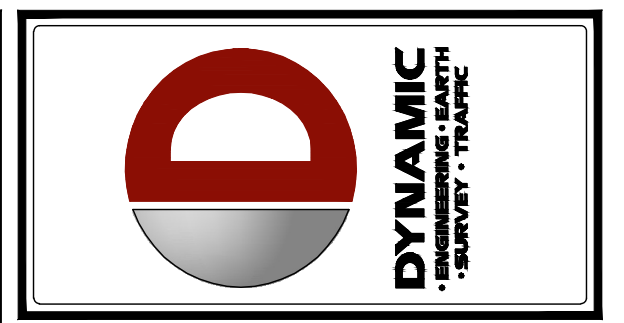


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EAST MAIN STREET
 (A.K.A. U.S. ROUTE NO. 6 PER TAX MAP)
 (A.K.A. STATE HIGHWAY NO. 1309 PER MTR)
 (VARIABLE ROW WIDTH PER TAX MAP)

SEE SHEET 08 OF 14 FOR LIGHTING PLAN DETAILS



REV.	DATE	COMMENTS	BY
1	02/13/25	REVISED PER CODE DS / PERMIT / BID	ADY
2	02/20/25	REVISED PER TOWN COMMENTS	DUS
3	03/20/25	REVISED PER TOWN COMMENTS	ADY

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION.

DESIGNED BY: LB
 CHECKED BY: ZAK
 DRAWN BY: XXX

PROJECT: **FLOOR & DECOR OUTLETS OF AMERICA INC.**
 SECTION 24.1.3, BLOCK 2, LOTS 4, 5, 6, 9, 11 & 12
 2094 EAST MAIN STREET (NY-6)
 TOWN OF CORTLAND, WESTCHESTER COUNTY, NEW YORK

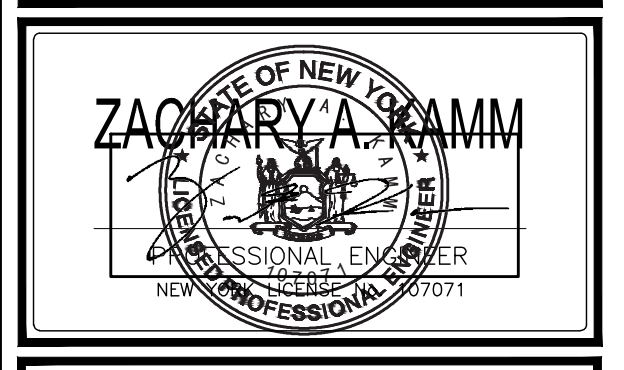
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JOSHUA M. SEWALD
 PROFESSIONAL ENGINEER
 NEW YORK LICENSE No. 097639

TITLE:
LIGHTING PLAN

SCALE: (H) 1" = 30'
 (V) 1" = 30'
 DATE: 01/23/2025
 PROJECT No: 5079-24-04330

SHEET No: **8** OF 14
 Rev. #: 3

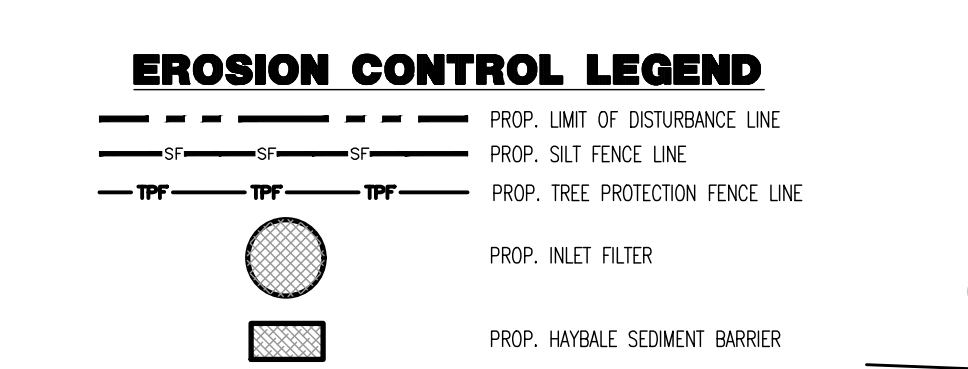
SOIL EROSION & SEDIMENT CONTROL NOTES:

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL, AND WILL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND BE BOUND IN ACCORDANCE WITH THE STATE STANDARDS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
3. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF 2 TONS PER ACRE, ACCORDING TO STATE STANDARDS.
4. STABILIZATION SPECIFICATIONS - TEMPORARY SEEDING AND MULCHING:
 - LINE - 90 LBS/1,000 SF GRASS LIMESTONE; FERTILIZER - 11 LBS/1,000 SF; 10-20-10 OR EQUIVALENT WORKED INTO SOIL A MINIMUM OF 4" SEEDS;
 - COOL SEASON: PERENNIAL RYE GRASS 100LBS/ACRE OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
 - WARM SEASON: PEARL MILLET AT 20 LBS/AC, OR OTHER APPROVED SEEDS; PLANT BETWEEN MAY 15 AND AUGUST 15.
 - MULCH - SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS/1,000 SF TO BE APPLIED ACCORDING TO THE STATE STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
5. TEMPORARY BERM ARE TO BE INSTALLED ON ALL CLEARED ROADSIDEWAYS AND EASEMENT AREAS IN ACCORDANCE WITH THE STATE STANDARDS.
6. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, SUB-BASE WILL BE INSTALLED WITHIN 15 DAYS OF PRELIMINARY GRADING.
7. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUN-OFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
8. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACK FILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER 3:1).
9. ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.
10. STOCKPILES ARE NOT TO BE LOCATED WITHIN 50' OF A FLOOD PLAIN, SLOPE, ROADWAY, OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES MUST BE PROTECTED BY A HAY BALE BARRIER OR SEDIMENT FENCE.
11. A CRUSHED STONE VEHICLE WHEEL CLEANING BLANKET WILL BE INSTALLED IMMEDIATELY AFTER INITIAL SITE DISTURBANCE AND WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. BLANKET SHALL BE 1-1/2" TO 2" CRUSHED STONE AND AT LEAST 30' X 100', AND MUST BE UNDERLAIN WITH A SUITABLE SYNTHETIC SEDIMENT FILTER FABRIC AND MAINTAINED.
12. MAXIMUM SLIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT EXCEED 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
13. ANY INDIVIDUAL ACCESS ROADS OR DRIVES MUST BE STABILIZED WITH 2-1/2" CRUSHED STONE PRIOR TO COMMENCEMENT OF CONSTRUCTION IN THAT AREA.
14. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
15. ALL CATCH BASIN INLETS MUST BE PROTECTED WITH A CRUSHED STONE OR HAY BALE FILTER (SEE DETAIL).
16. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUT FALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
17. ALL DE-WATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA. THE SEDIMENT FILTER SHALL BE COMPOSED OF A SUITABLE SEDIMENT FILTER FABRIC (SEE DETAIL).
18. PERMANENT VEGETATION TO BE SEEDS OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH TO BE USED AS NECESSARY FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
19. PERMANENT STABILIZATION SPECIFICATIONS: SEEDING
20. PERMANENT STABILIZATION SPECIFICATIONS: MULCHING
 - A. MULCH MATERIALS TO BE UNROTTED SALT HAY, HAY, OR SMALL GRAIN STRAW AT THE RATE OF 1.5 TO 2 TONS PER ACRE OR 70 TO 90 POUNDS PER 1,000 SQ. FT.
 - B. SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 75% TO 95% OF SOIL SURFACE WILL BE COVERED.
 - C. MULCH ANCHORING TO BE DONE IMMEDIATELY AFTER PLACEMENT BY ONE OF THE FOLLOWING METHODS:
 - (1) PEG AND TWINE
 - (2) MULCH NETTING
 - (3) LIQUID MULCH-BINDERS
21. ALL UNSTABILIZED AREAS TO BE SPRINKLED WITH WATER UNTIL WET AT THE BEGINNING OF EACH DAY TO CONTROL DUST.
22. ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF 12" OF SOIL HAVING A PH OF 5 OR MORE PRIOR TO SEEDING PREPARATION.
23. AT THE TIME OF SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION, ANY SOIL NOT SUITABLE TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER WILL BE REMOVED OR TREATED IN SUCH A WAY TO IMPROVE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. (IF REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE PROVIDED.)
24. ALL SITE WORK FOR SITE PLANS WILL HAVE TO BE COMPLETED PRIOR TO THE SOIL CONSERVATION DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
25. THE SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON OR OFF SITE EROSION PROBLEMS DURING CONSTRUCTION. THE DISTRICT SHALL BE NOTIFIED IN WRITING 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY LAND DISTURBANCE.
26. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS.

SEQUENCE OF CONSTRUCTION:

- PHASE 1: INSTALL STONE ANTI-TRACKING PAD AND OTHER SOIL EROSION SEDIMENT CONTROL MEASURES INCLUDING DOWN SLOPE PERIMETER HAY BALES AND SILT FENCING.
- PHASE 2: COMPLETE BUILDING RENOVATION.
- PHASE 3: EXCAVATE AND INSTALL ON SITE IMPROVEMENTS INCLUDING CURBING AND SIDEWALK.
- PHASE 4: FINAL GRADING ON SITE.
- PHASE 5: INSTALL PAVING, CONCRETE, AND FINAL VEGETATION INCLUDING SEEDING AND LANDSCAPING.
- NOTE:
1. ALL EXISTING CATCH BASINS TO BE INSPECTED POST CONSTRUCTION. ANY ACCUMULATED SEDIMENTATION SHALL BE REMOVED FROM ALL CATCH BASINS AND ALL OUTFALLS SHALL BE PHOTO DOCUMENTED TO DEMONSTRATE NO BLOCCAGE OR ACCUMULATED SEDIMENTATION.
 2. LOADING DOCK ENTRANCE WILL NOT BE USED FOR SITE ACCESS DURING CONSTRUCTION.
 3. THE APPLICANT IS MADE AWARE THAT THE ENTIRE SITE MUST BE 100% STABILIZED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. DISTURBED AREAS SHALL BE RESTORED AND STABILIZED APPROPRIATELY AND IN A TIMELY MANNER.

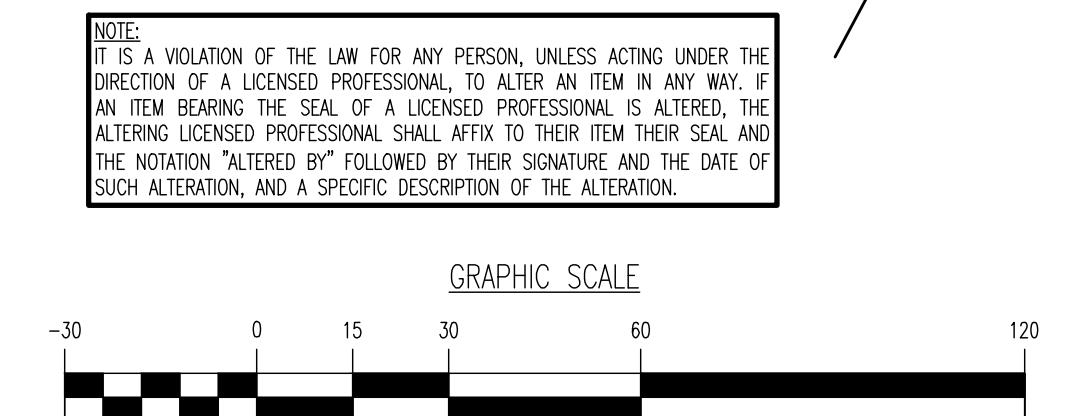
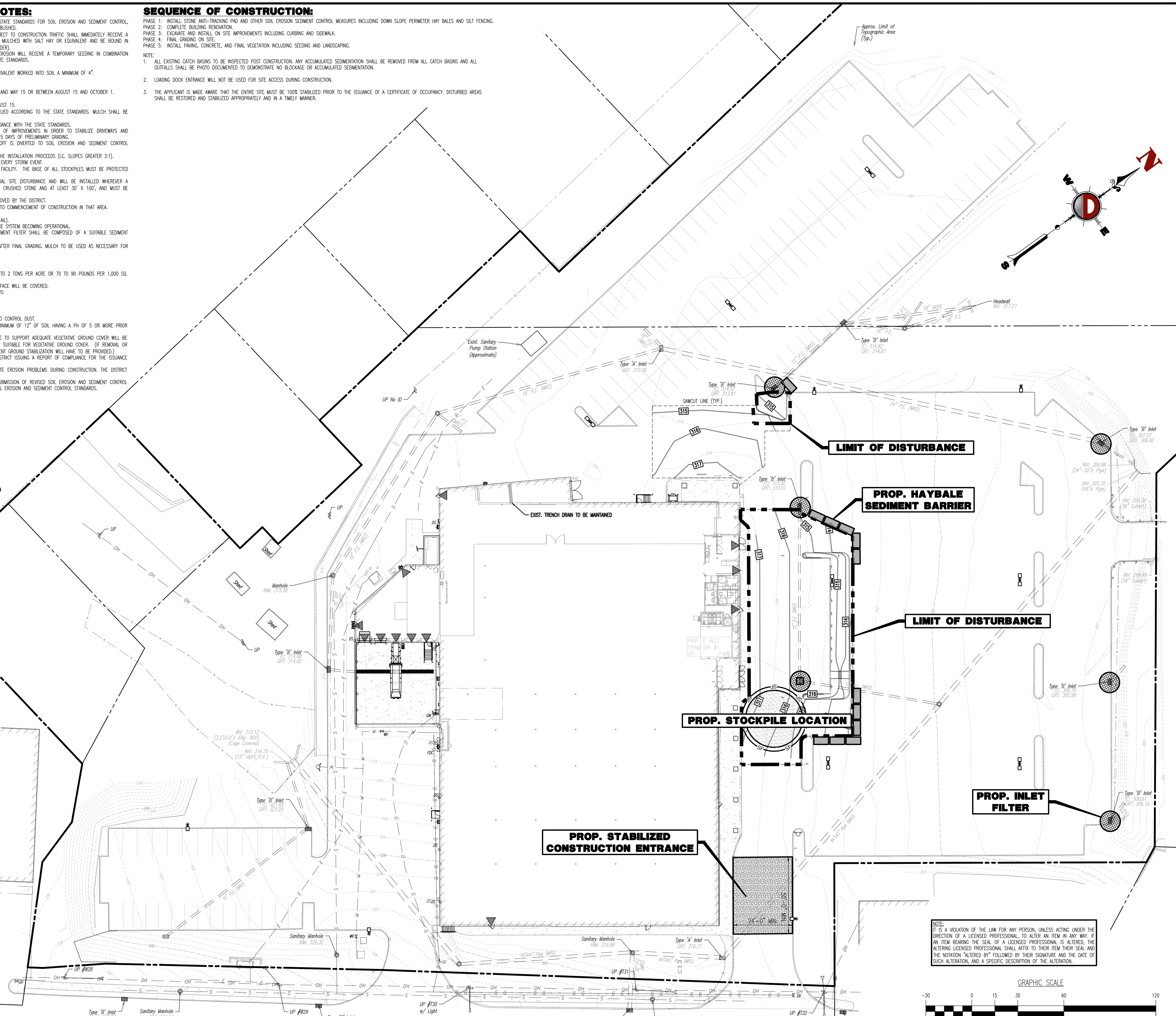
MILLINGTON ROAD
(VARIABLE ROW WIDTH PER TAX MAP)



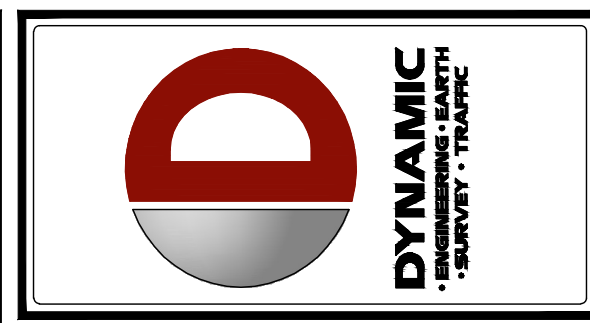
LIMIT OF DISTURBANCE = 11,033 SF. (0.25 Ac.)

EAST MAIN STREET
(A.K.A. U.S. ROUTE NO. 6 PER TAX MAP)
(A.K.A. STATE HIGHWAY NO. 1309 PER MRP)
(VARIABLE ROW WIDTH PER TAX MAP)

SEE SHEET 10 OF 14 FOR SOIL EROSION NOTES & DETAILS



NOTE:
IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER AN ITEM IN ANY MANNER IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



REV.	DATE	COMMENTS
1	02/13/25	REVISED PER CODE DS / PERMIT / BD
2	02/20/25	REVISED PER TOWN COMMENTS
3	03/20/25	REVISED PER TOWN COMMENTS

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PROJECT: **FLOOR & DECOR OUTLETS OF AMERICA INC.**
SECTION 24.1.3, BLOCK 2, LOTS 4, 5, 6, 9, 11 & 12
2094 EAST MAIN STREET (NY-6)
TOWN OF CORTLAND, WESTCHESTER COUNTY, NEW YORK

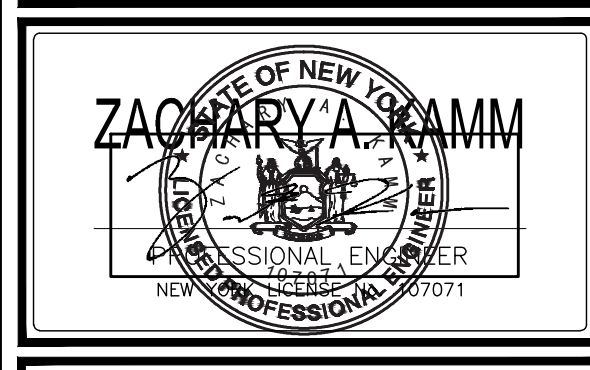
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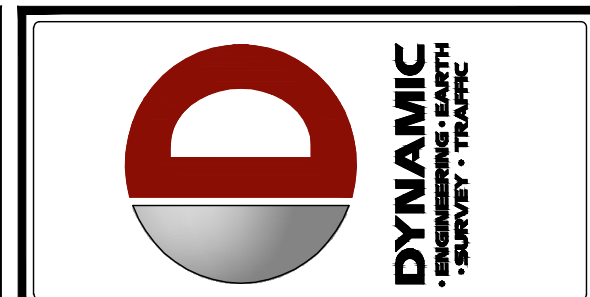
JOSHUA M. SEWALD
PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 097639

TITLE: **SOIL EROSION & SEDIMENT CONTROL PLAN**

SCALE: (H) 1" = 30'
(V) 1" = 30 FT
DATE: 01/23/2025
PROJECT No: 5079-24-04330

SHEET No: **9** OF 14
Rev. #: 3

Plotted: 03/20/25 - 2:25 PM, By: aventurini, Product Ver: 25.0
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STABILIZATION SPECIFICATIONS - TEMPORARY SEEDING AND MULCHING

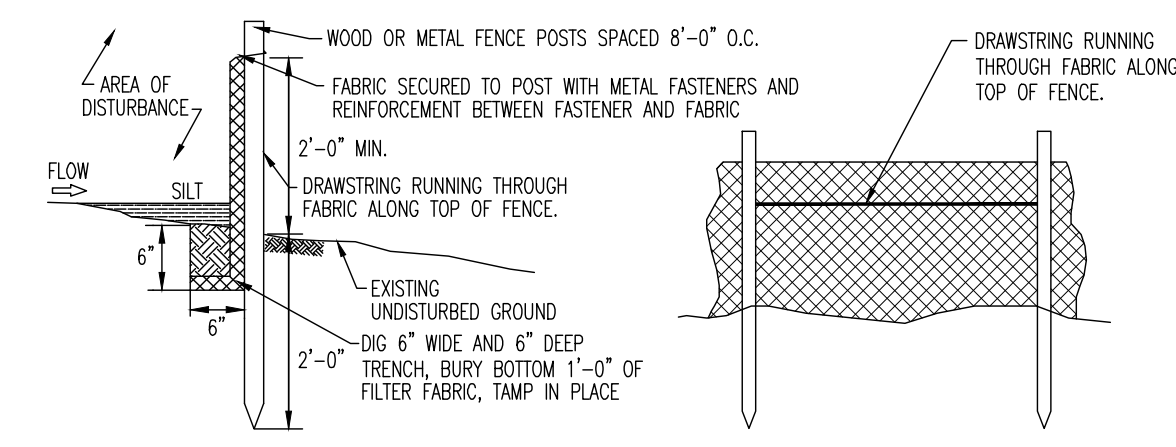
- LIME - 90 LBS/1,000 SF GROUND LIME/STONE; FERTILIZER - 11 LBS/1,000 SF; 10-20-10 OR EQUIVALENT WORKED INTO SOIL A MINIMUM OF 4".
- SEEDS:
- COOL SEASON: PERENNIAL RYE GRASS 100LBS/ACRE OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
- WARM SEASON: PEARL MILLET AT 20 LBS/AC. OR OTHER APPROVED SEEDS; PLANT BETWEEN MAY 15 AND AUGUST 15.
- MULCH - SALT HAY OR SMALL GRASS STRAW AT A RATE OF 70 TO 90 LBS/1,000 SF TO BE APPLIED ACCORDING TO THE STATE STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).

STABILIZATION SPECIFICATIONS - PERMANENT SEEDING

- PERMANENT STABILIZATION SPECIFICATIONS: SEEDING
- 1. PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 1".
- 2. PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- PERENNIAL RYEGRASS 1/2 LB/1,000 SQ FT
- KENTUCKY BLUEGRASS 1 LB/1,000 SQ FT
- 1/2 LBS/1,000 SQ FT
- 1/2 LBS/1,000 SQ FT
- FERTILIZER (20-10-10) 14 LBS/1,000 SQ FT
- LBS/1,000 SQ FT
- 3. SEEDING DATES: APRIL 15TH TO MAY 15TH OR AUGUST 15TH TO OCTOBER 1ST.
- 4. GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDED AREA UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED BY OWNER.
- PERMANENT STABILIZATION SPECIFICATIONS: MULCHING
- A. MULCH MATERIALS TO BE UNROTTED SALT HAY, HAY, OR SMALL GRASS STRAW AT THE RATE OF 1.5 TO 2 TONS PER ACRE OR 70 TO 90 POUNDS PER 1,000 SQ. FT.
- B. SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 75% TO 85% OF SOIL SURFACE WILL BE COVERED.
- C. MULCH ANCHORING TO BE DONE IMMEDIATELY AFTER PLACEMENT BY ONE OF THE FOLLOWING:
 - (1) PEG AND TWINE
 - (2) MULCH NETTING
 - (3) LIQUID MULCH-BINDERS

MULCH STABILIZATION

- A. UNROTTED SMALL-GRAIN STRAW, OR SALT HAY AT 2.0 TO 2.5 TONS PER ACRE IS SPREAD UNIFORMLY AT 90 TO 115 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING TIE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
- B. ASPHALT EMULSION IS RECOMMENDED AT THE RATE OF 600 TO 1,200 GALLONS PER ACRE. THIS IS SUITABLE FOR A LIMITED PERIOD OF TIME WHERE TRAVEL BY PEOPLE, ANIMALS, OR MACHINES IS NOT A PROBLEM.
- C. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER.
- D. WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS PER ACRE (OR ACCORDING TO THE MANUFACTURER'S REQUIREMENTS) MAY BE APPLIED BY A HYDROSEEDER.
- E. MULCH NETTING, SUCH AS PAPER JUTE, EXCELSIOR, COTTON, OR PLASTIC MAY BE USED.
- F. MULCH ANCHORING TO BE DONE IMMEDIATELY AFTER PLACEMENT BY ONE OF THE FOLLOWING METHODS:
 - (1) PEG MID TWINE
 - (2) MULCH NETTING
 - (3) LIQUID MULCH-BINDERS



- PLACE SILT FENCE AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
- THE SLOPE OF THE LAND FOR AT LEAST 30 FEET ADJACENT TO ANY SILT FENCE SHALL NOT EXCEED 5 PERCENT.
- SILT FENCE SHALL BE INSTALLED SO WATER CANNOT BYPASS THE FENCE AROUND THE SIDES.
- INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE AS PROMPTLY AS POSSIBLE.
- SILT FENCE SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE INSTRUCTED BY THE TOWNSHIP ENGINEER OR SOIL CONSERVATION DISTRICT.
- THE BARRIER SHALL BE REMOVED WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
- FENCE POSTS SHALL BE SPACED 8 FEET CENTER-TO-CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND EXTEND AT LEAST 2 FEET ABOVE GROUND. POSTS SHALL BE CONSTRUCTED OF HARDWOOD A MIN. DIAMETER THICKNESS OF 1 1/2 INCHES.
- A METAL FENCE, WITH 6 INCH OR SMALLER OPENINGS AND AT LEAST 2 FEET HIGH MAY BE UTILIZED, FASTENED TO THE FENCE POSTS TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC WHERE SPACE FOR OTHER PURPOSES IS LIMITED AND HEAVY SEDIMENT LOADING IS EXPECTED.
- A GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 6 INCHES DEEP IN THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 2 FEET ABOVE GROUND. FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS OR STAPLES) AND HIGH STRENGTH REINFORCEMENT MATERIAL (WELON WEAVING, CROMETS, WASHERS ETC.) PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE TOP PORTION OF THE FENCE FOR ADDED STRENGTH.

SILT FENCE DETAIL
NOT TO SCALE

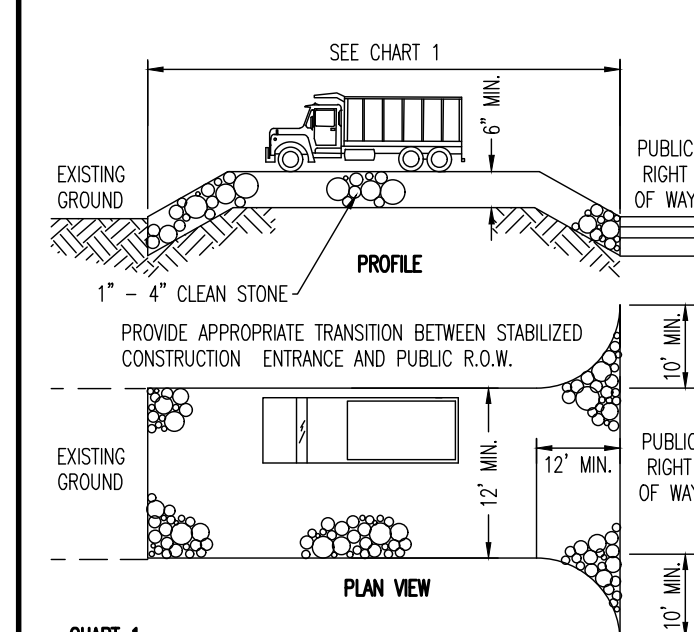
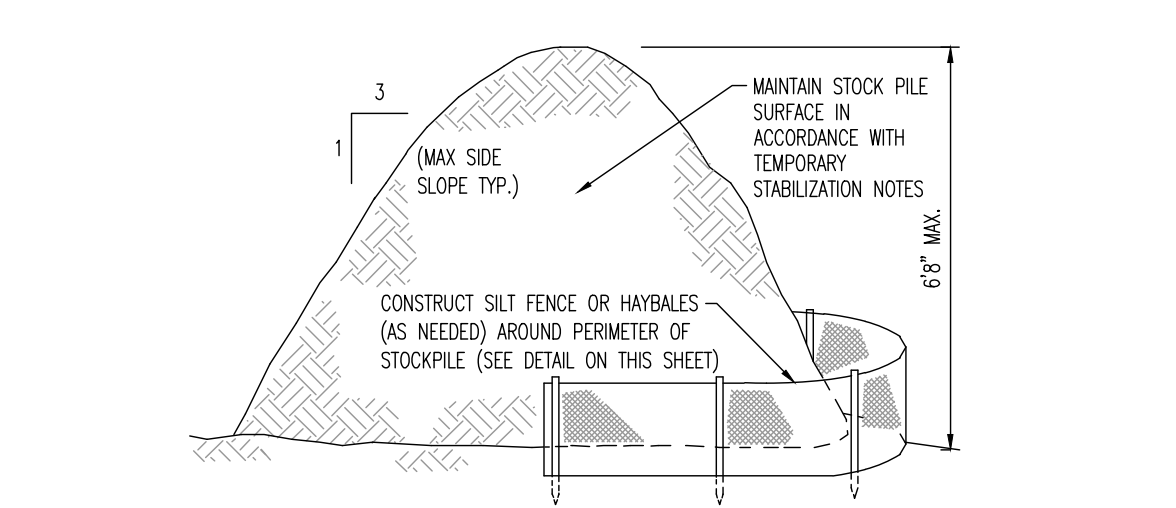


CHART 1

PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED
0 TO 2%	50 FT
2% TO 5%	100 FT
>5%	200 FT

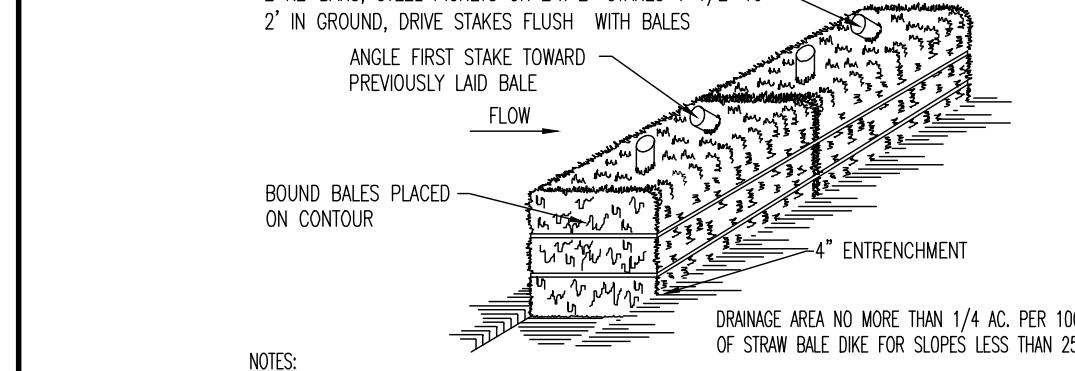
(1) AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY.

STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



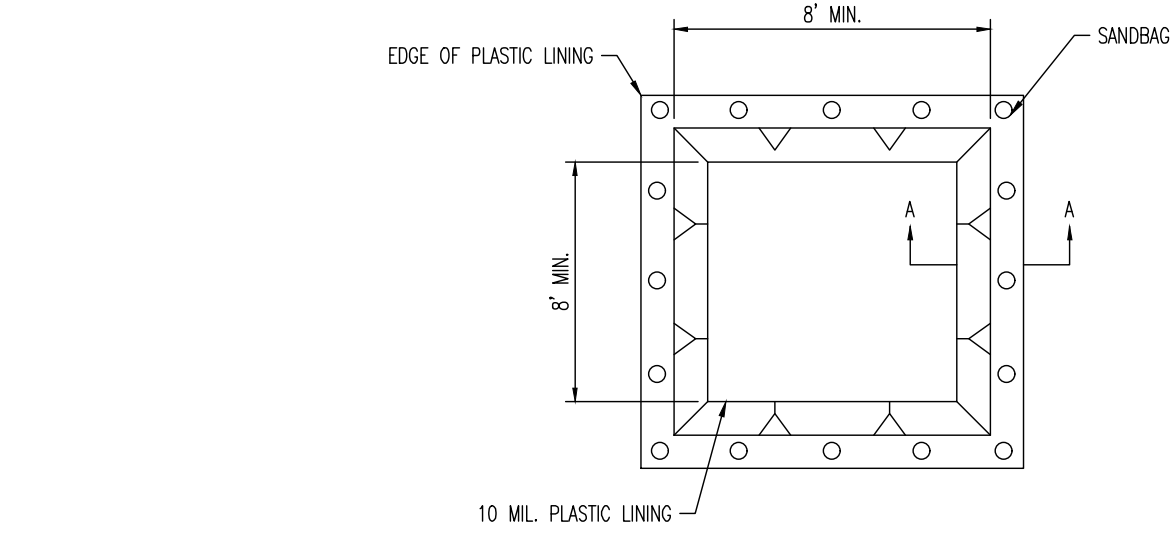
- NOTE:
- A BARRIER SHALL BE INSTALLED AT LEAST 10 FEET FROM THE TOE OF THE STOCKPILE TO PREVENT SOIL MIGRATION AND TO CAPTURE LOOSE SOIL.

TEMPORARY STOCKPILE DETAIL
NOT TO SCALE



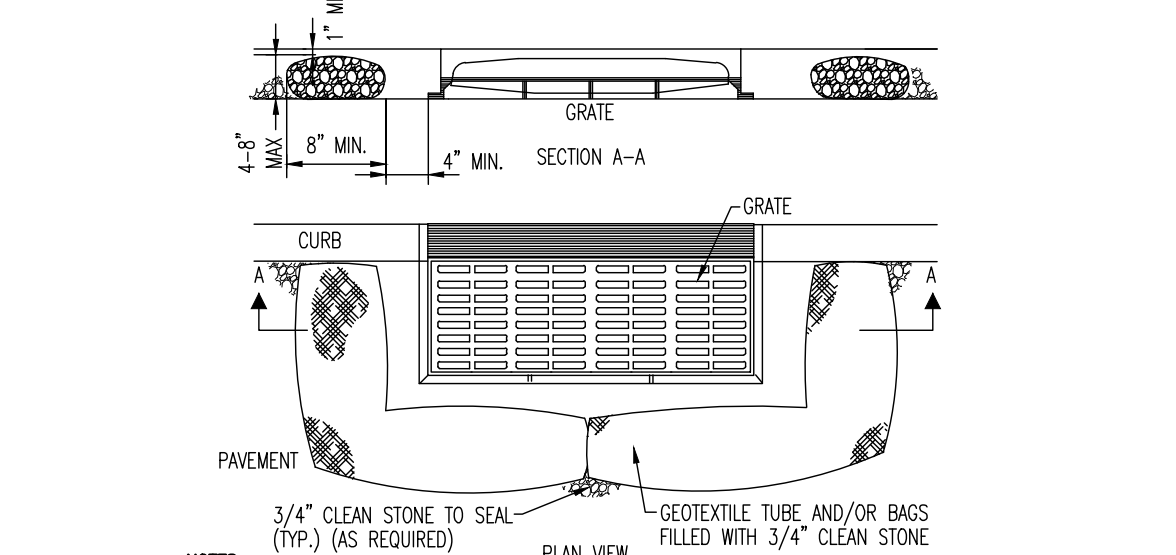
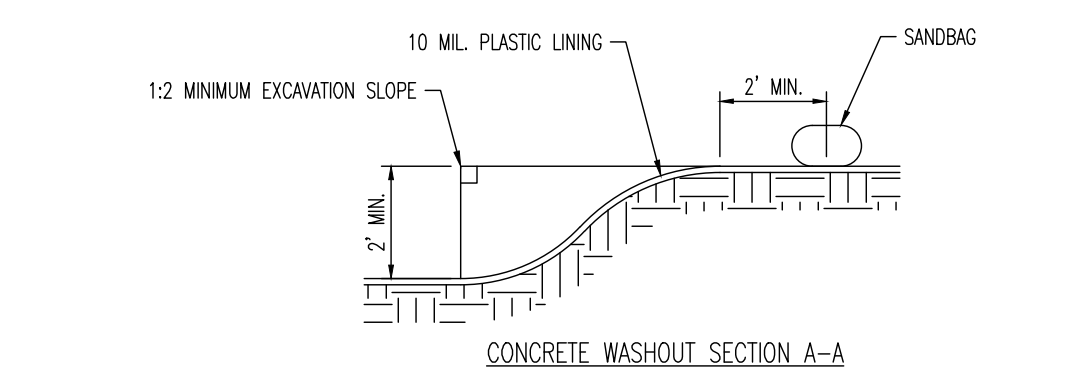
- NOTE:
- BALES SHALL BE PLACED AT THE TOP OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
 - EACH BALE SHALL BE PLACED SO THE ENDINGS ARE HORIZONTAL.
 - BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
 - INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE PROMPTLY AS NEEDED.
 - BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

HAYBALE SEDIMENT BARRIER DETAIL
NOT TO SCALE



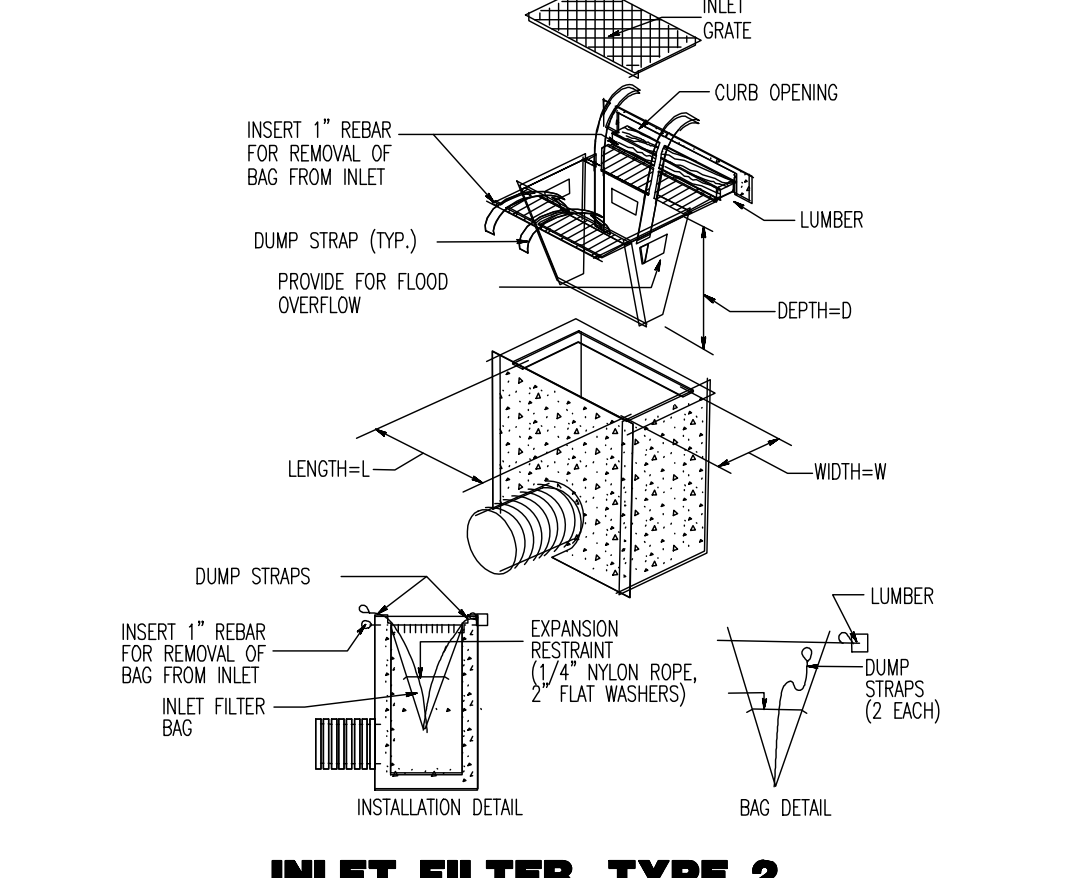
- NOTE:
- THE LINER SHALL BE PLASTIC SHEETING WITH A MINIMUM THICKNESS OF 10 MILS WITH NO HOLES OR TEARS.
 - THE PLASTIC LINER SHALL BE ANCHORED BEHIND THE TOP OF THE PIT WITH AN EARTHEN BERM, SAND BAG, STONE OR OTHER STRUCTURAL MATERIAL, EXCEPT AT ACCESS POINT.
 - SHALL BE LOCATED A MINIMUM OF 100 FEET AWAY FROM DRAINAGE SWALES, STORM DRAIN INLETS, WETLANDS, STREAMS AND OTHER SURFACE WATERS.
 - PLASTIC LINERS SHALL BE REPLACED WITH EACH CLEANING.

CONCRETE WASHOUT DETAIL
NOT TO SCALE



- NOTE:
- GEOTEXTILE TO BE WOVEN POLYPROPYLENE PRODUCT 117F, BY SYNTHETIC INDUSTRIES INC., OR TERRATEX SC, BY WETBEC INC. OR APPROVED EQUAL.
 - 3/4" CLEAN STONE CORE SHALL BE COMPLETELY CONTAINED WITHIN GEOTEXTILE. SCAMS SHALL BE SEWN OR CLOSED BY SUITABLE MECHANICAL MEANS TO PREVENT LEAKAGE OF STONE.
 - WHERE NO CURB IS PRESENT, BARRIER SHALL COMPLETELY ENCLOSE THE DRAIN INLET.
 - INLET CURB OPENING IS TO BE KEPT CLEAR OF OBSTRUCTIONS AT ALL TIMES.
 - THE PROTECTION DEVICE WILL BE DESIGNED TO CAPTURE OR FILTER RUNOFF FROM THE 1 YEAR, 24 HOUR STORM DRAIN AND SHALL SAFELY CONVEY HARDSHIP FLOWING DIRECTLY INTO THE STORM SEWER SYSTEM.
 - OTHER METHODS THAT ACCOMPLISH THE PURPOSE OF STORM SEWER INLET PROTECTION MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
 - INSPECTIONS SHALL BE FREQUENT. MAINTENANCE, REPAIR, AND REPLACEMENT SHALL BE MADE PROMPTLY, AS NEEDED. THE BARRIER SHALL BE REMOVED WHEN THE AREA DRAINING TOWARDS THE INLET HAS BEEN STABILIZED.

INLET FILTER, TYPE 1



INLET FILTER, TYPE 2

INLET FILTER COMBINED DETAIL
NOT TO SCALE

Plotted: 03/20/25 - 2:25 PM, By: aventurini, Product Ver: 25.0
 File: \\spec.local\cadd\projects\5079\floor and decor\24-04330 corland\rv\dwg\Site Plans\5079\2404330\SD3.dwg, ---> 10 SOIL EROSION & SEDIMENT CONTROL DETAILS

NO.	DATE	REV.	BY	COMMENTS
1	02/13/24		ADY	REVISED PER TOWN COMMENTS
2	02/20/24		DUS	REVISED PER TOWN COMMENTS
3	03/20/25		ADY	REVISED PER TOWN COMMENTS

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DESIGNED BY: LB
CHECKED BY: ZAK
DRT

PROJECT: FLOOR & DECOR OUTLETS OF AMERICA INC.
PROPOSED FLOOR & DECOR
SECTION 24.1.3, BLOCK 2, LOTS 4, 5, 6, 9, 11 & 12
2094 EAST MAIN STREET (NY-6)
TOWN OF CORLAND, WESTCHESTER COUNTY, NEW YORK

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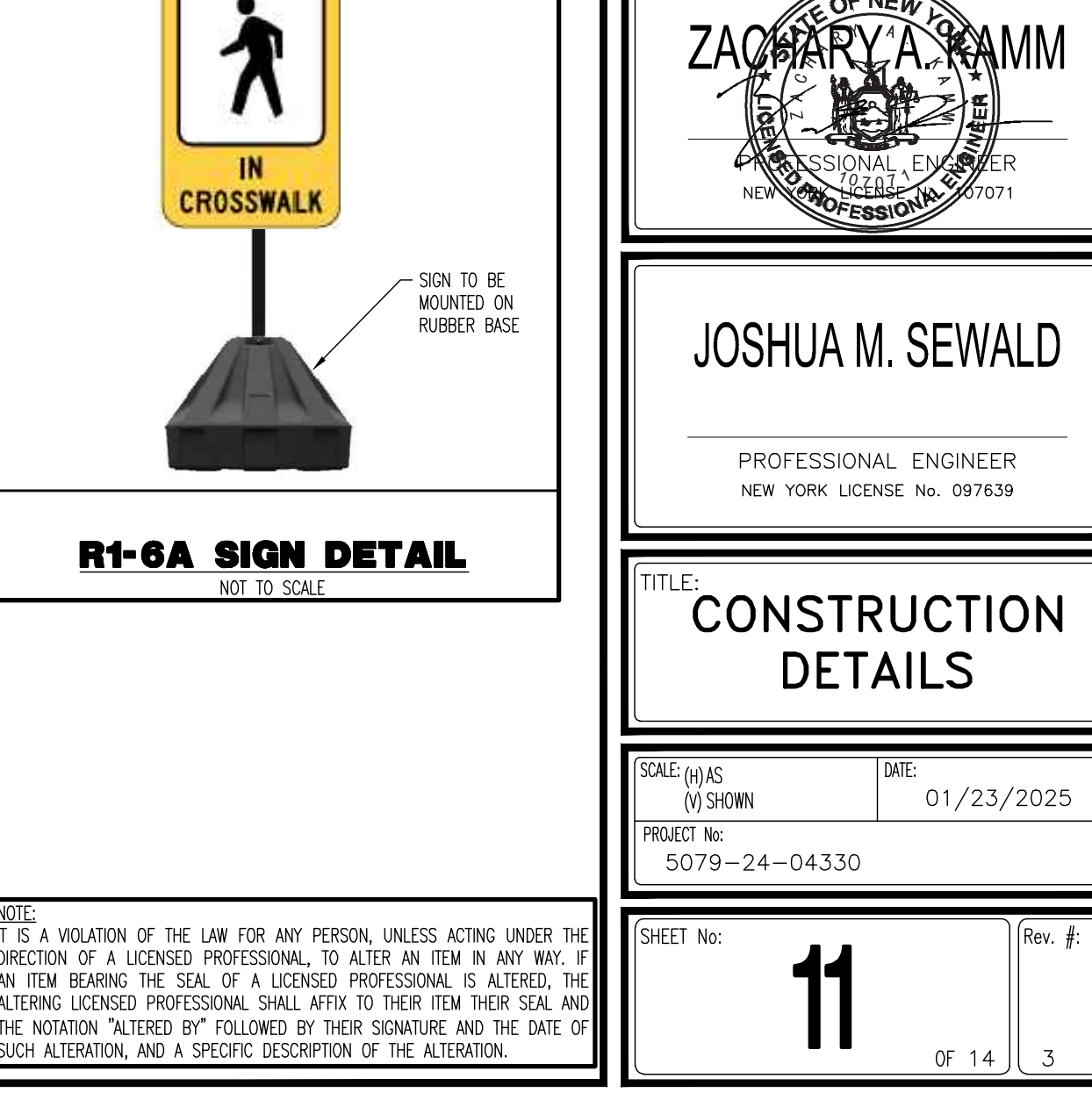
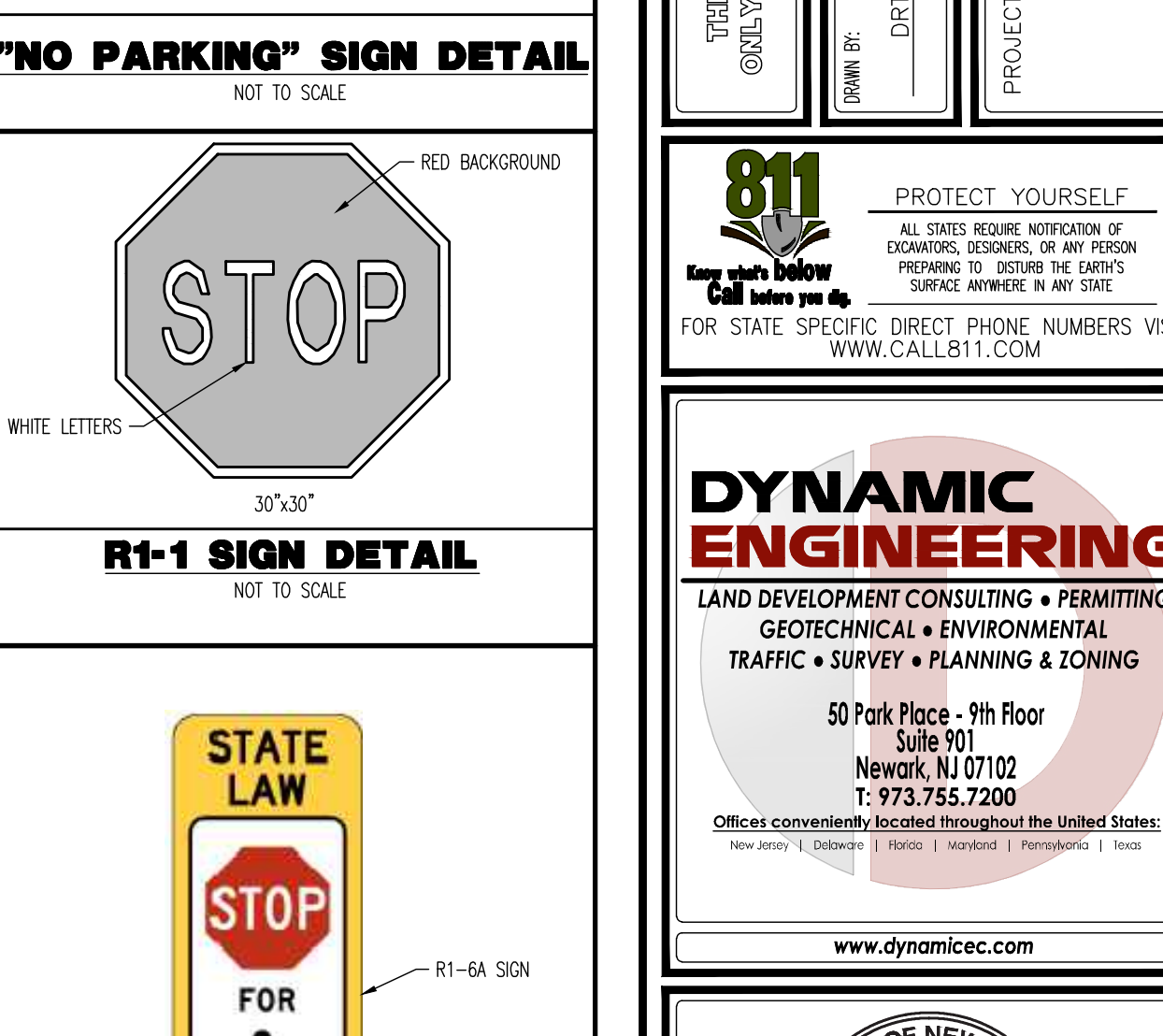
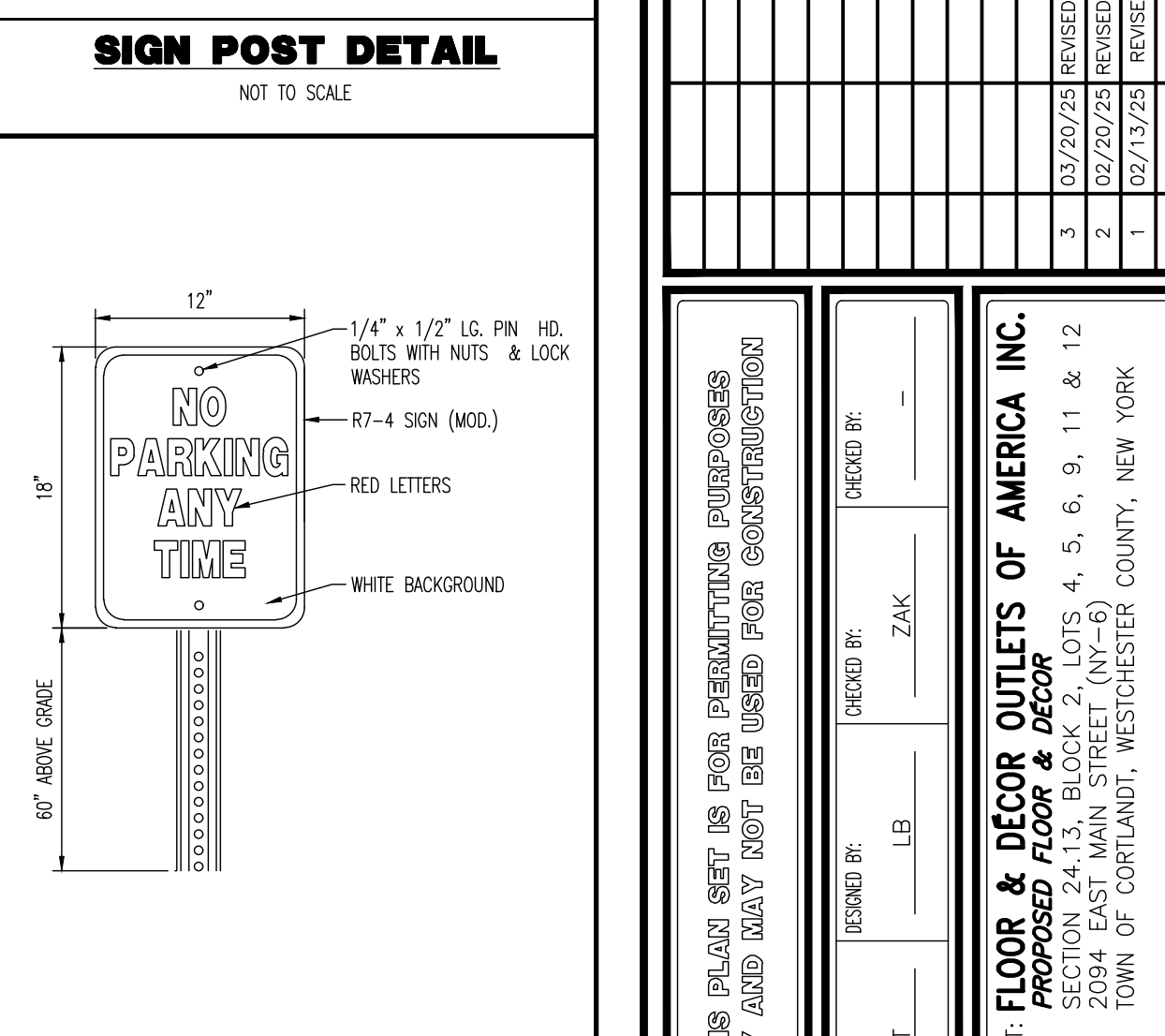
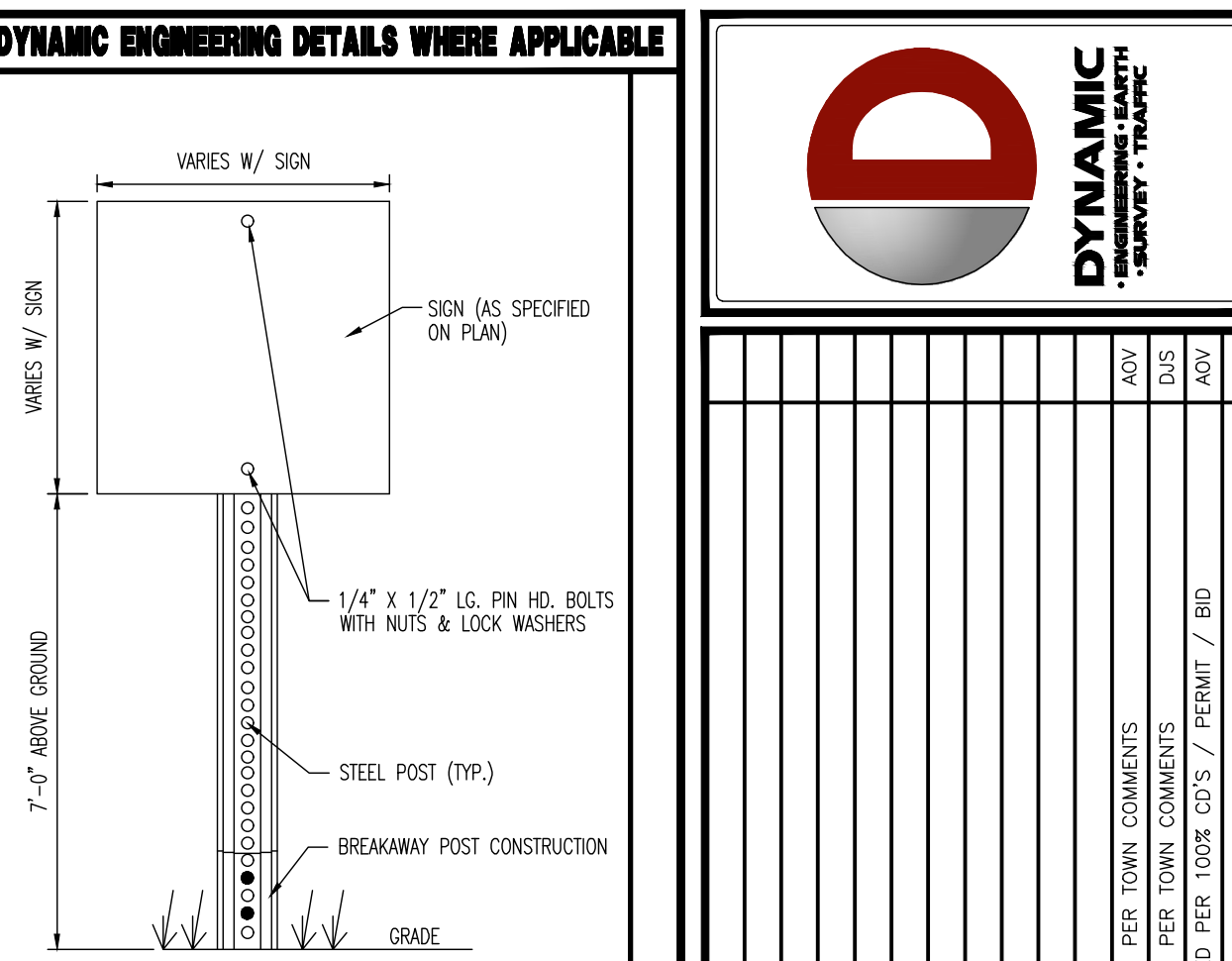
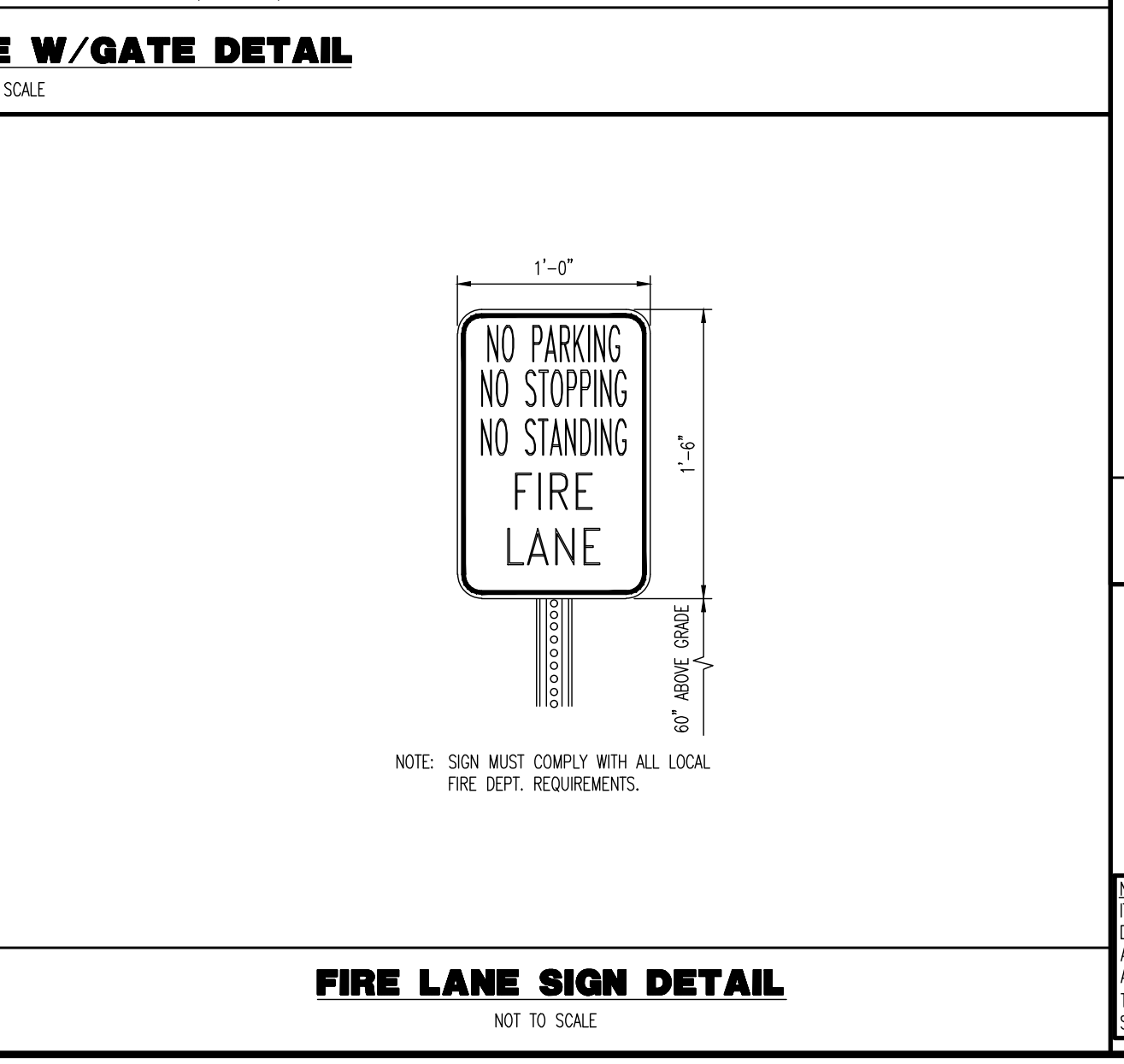
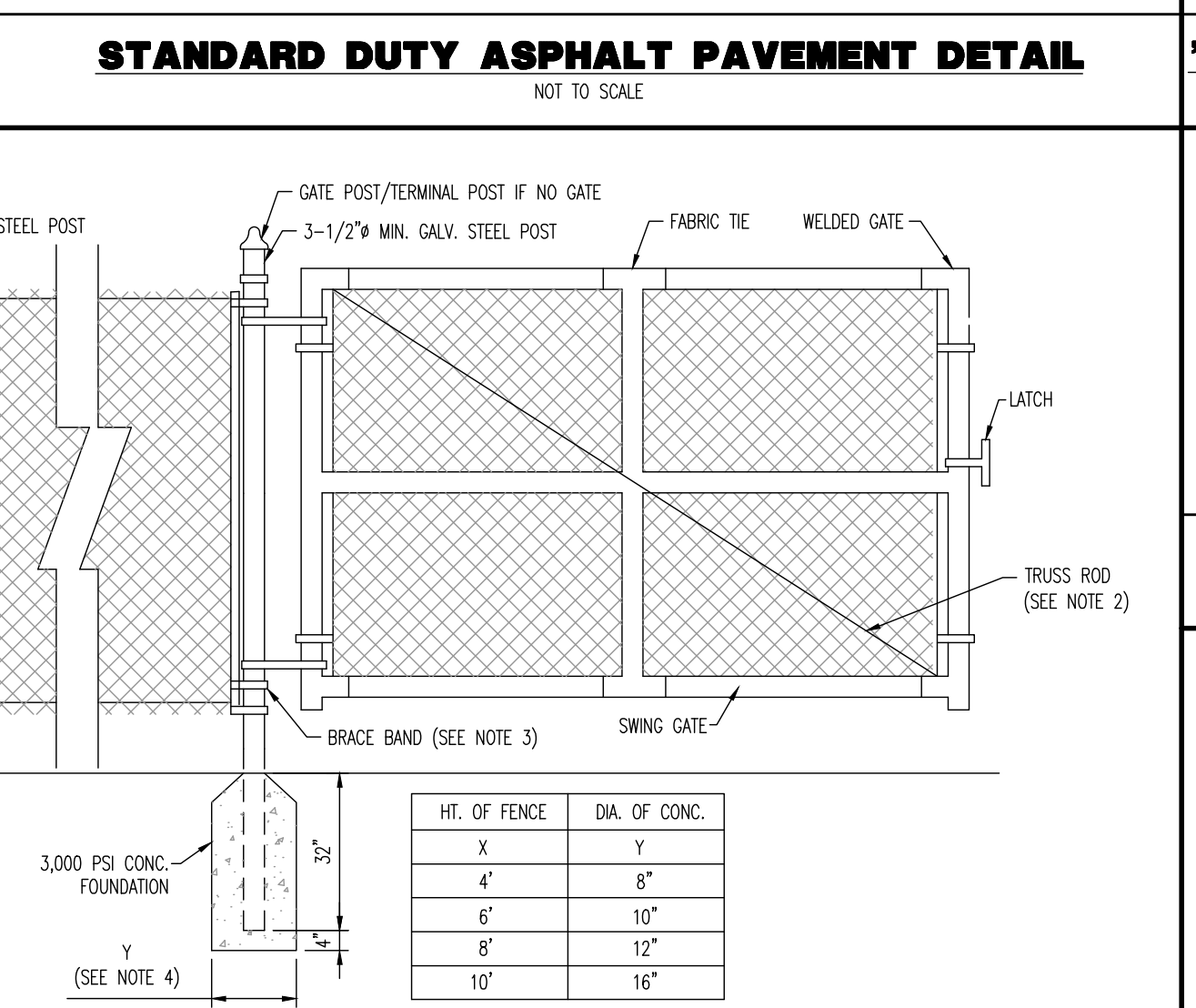
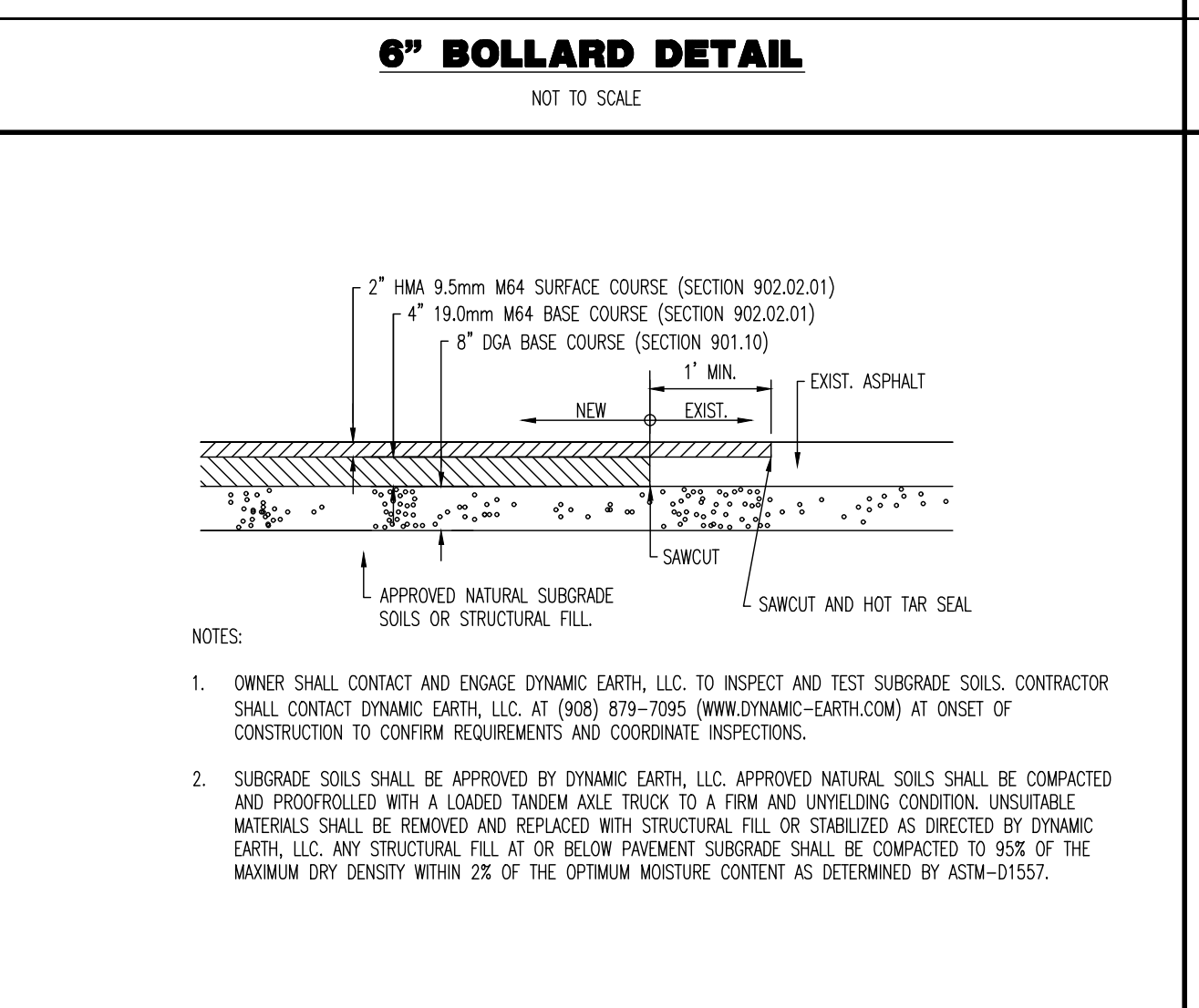
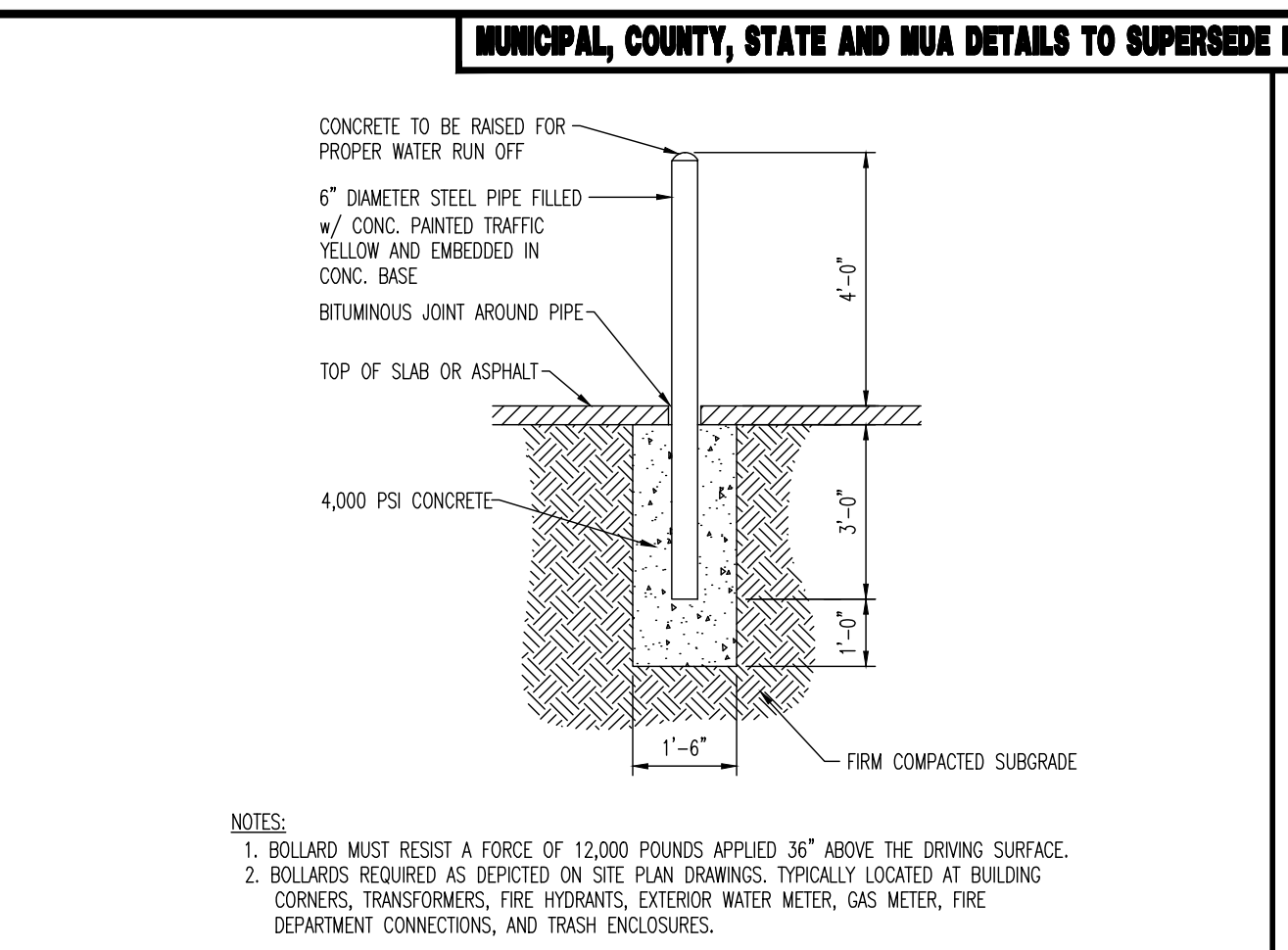
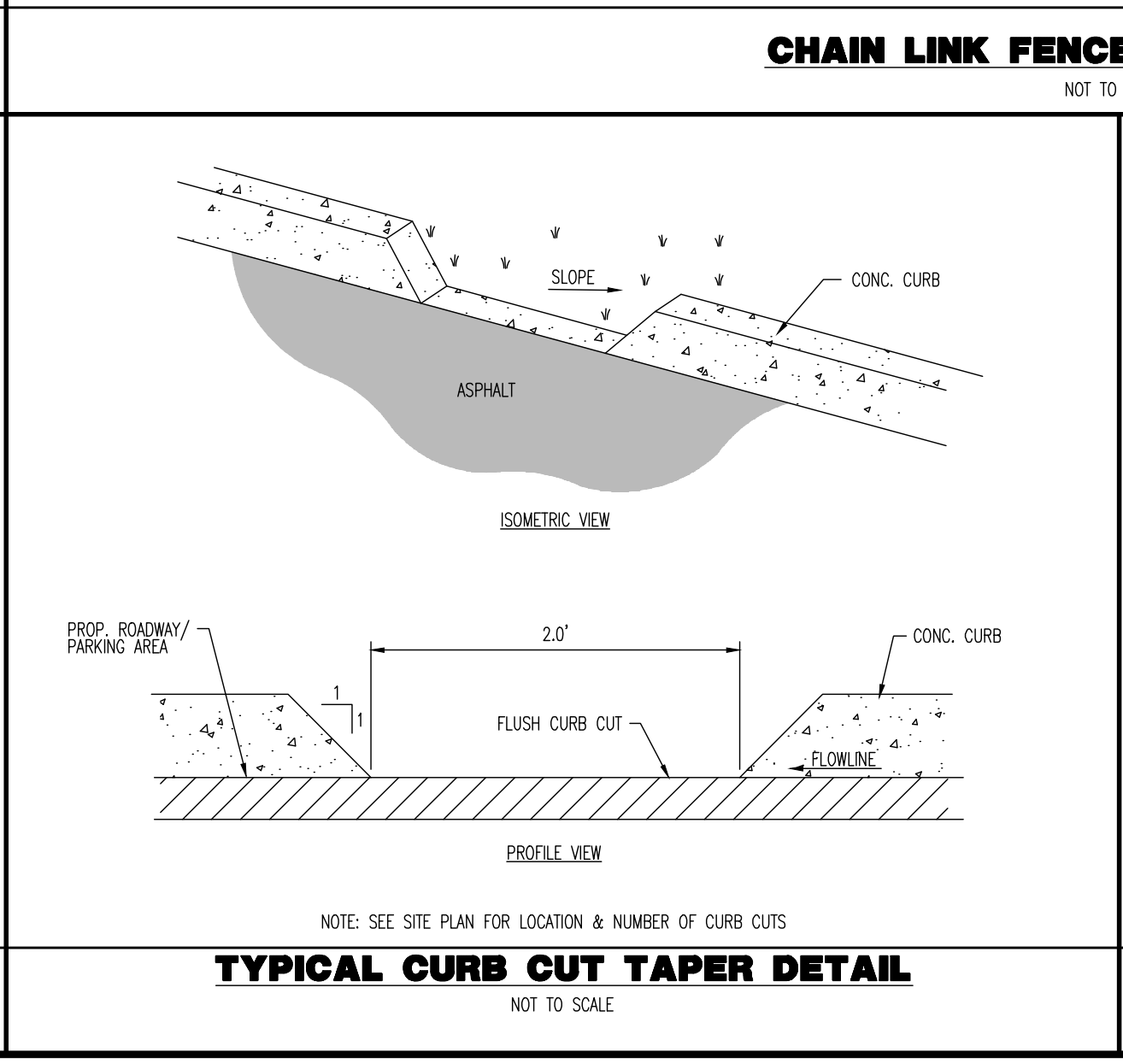
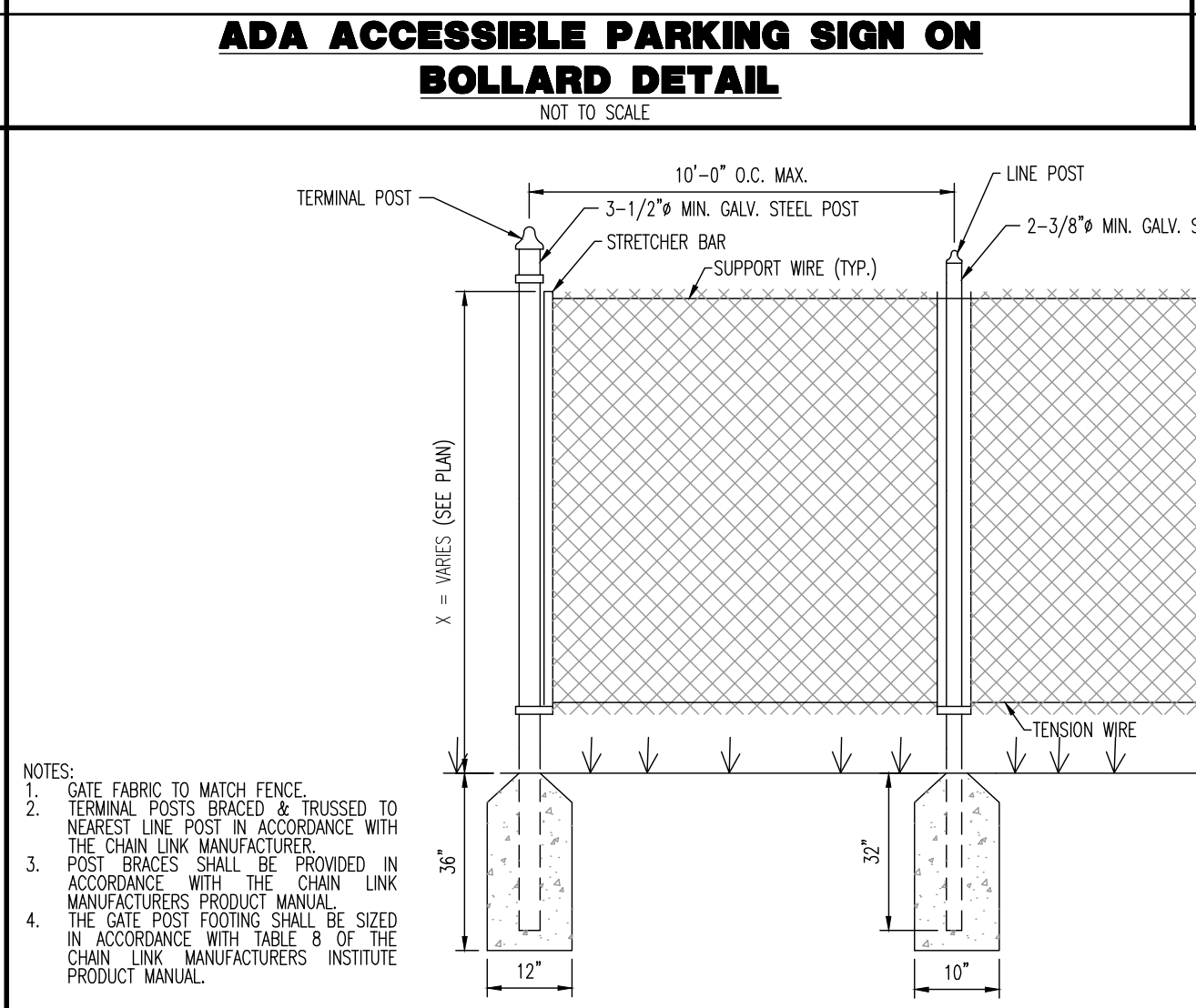
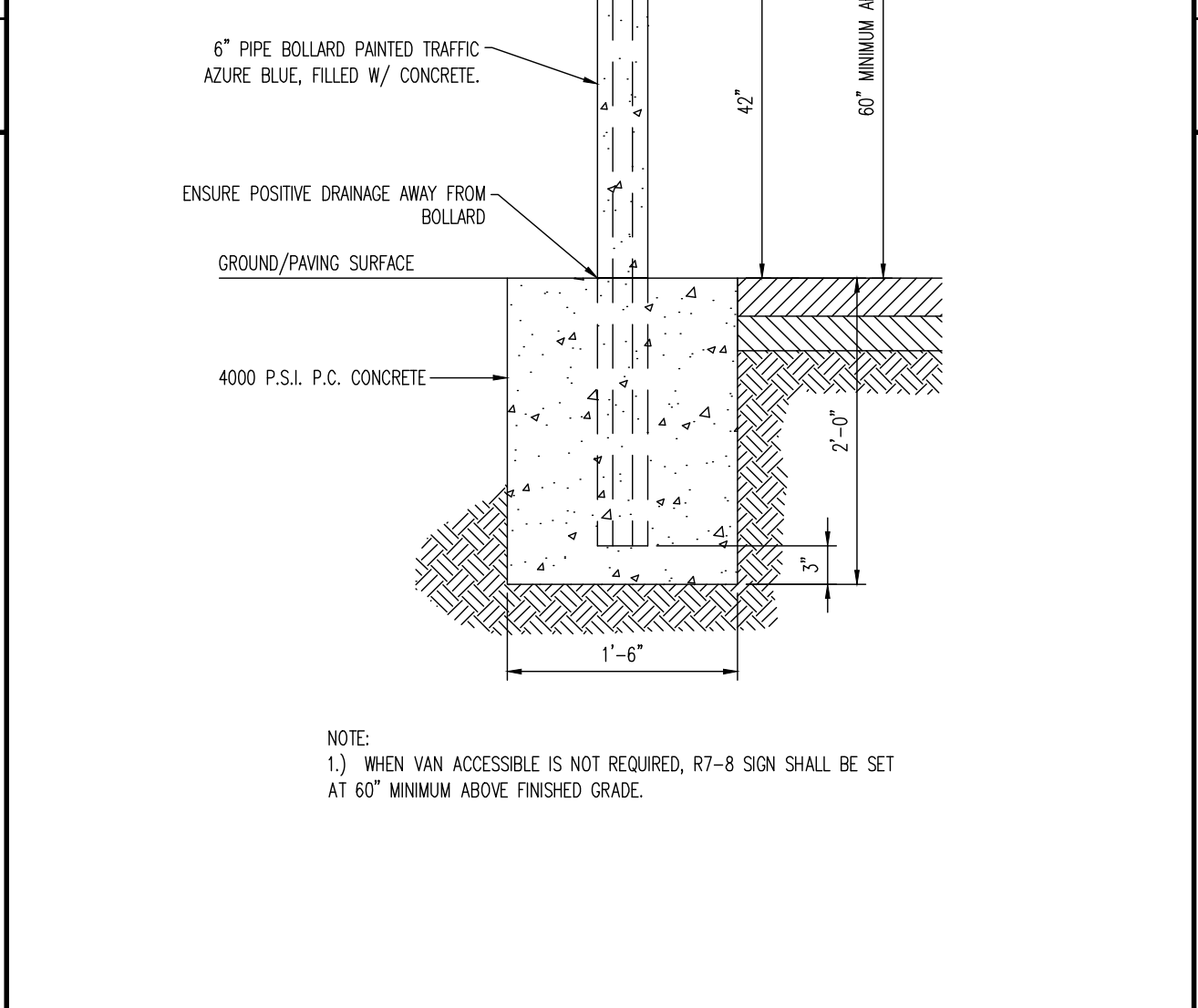
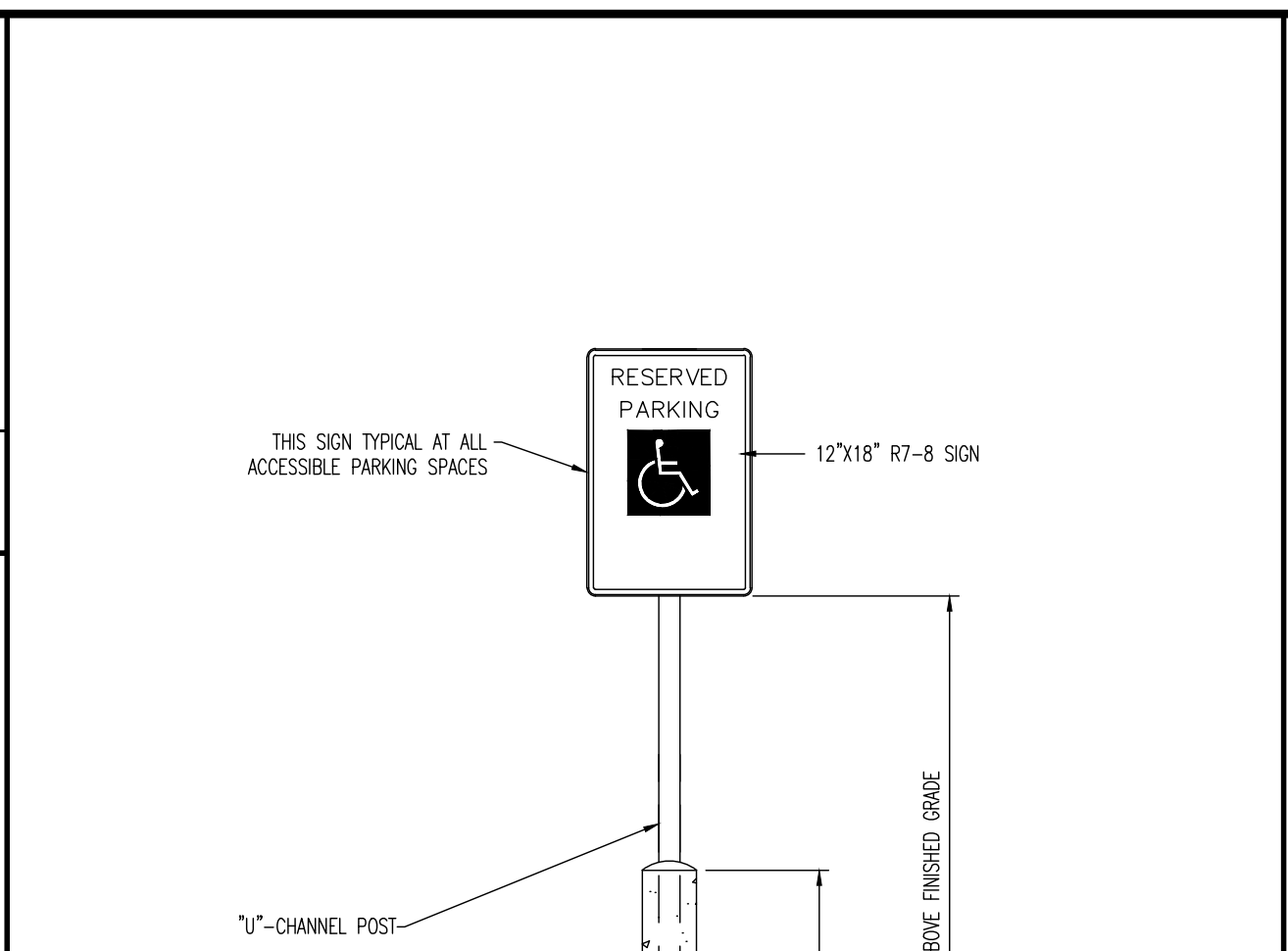
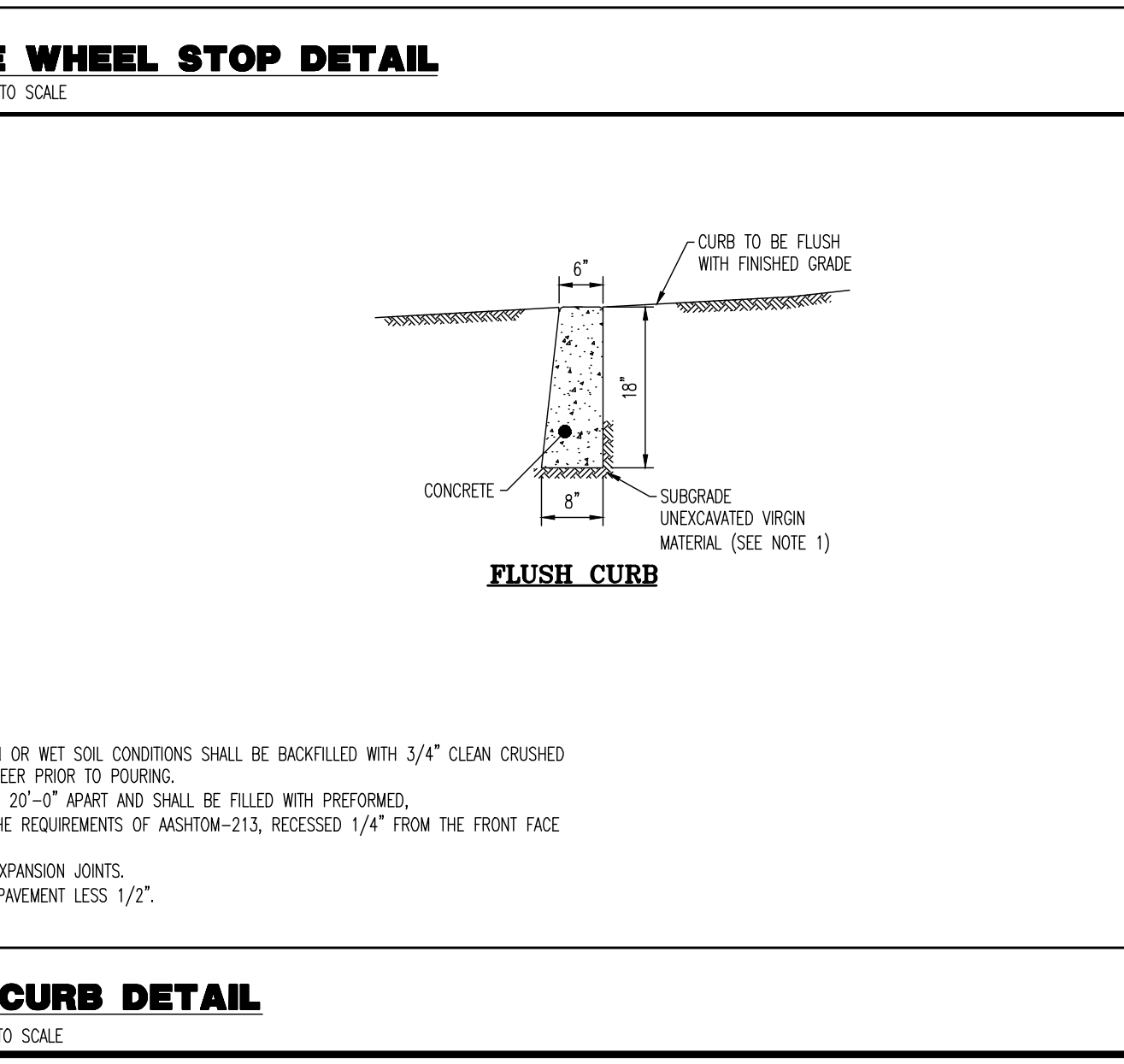
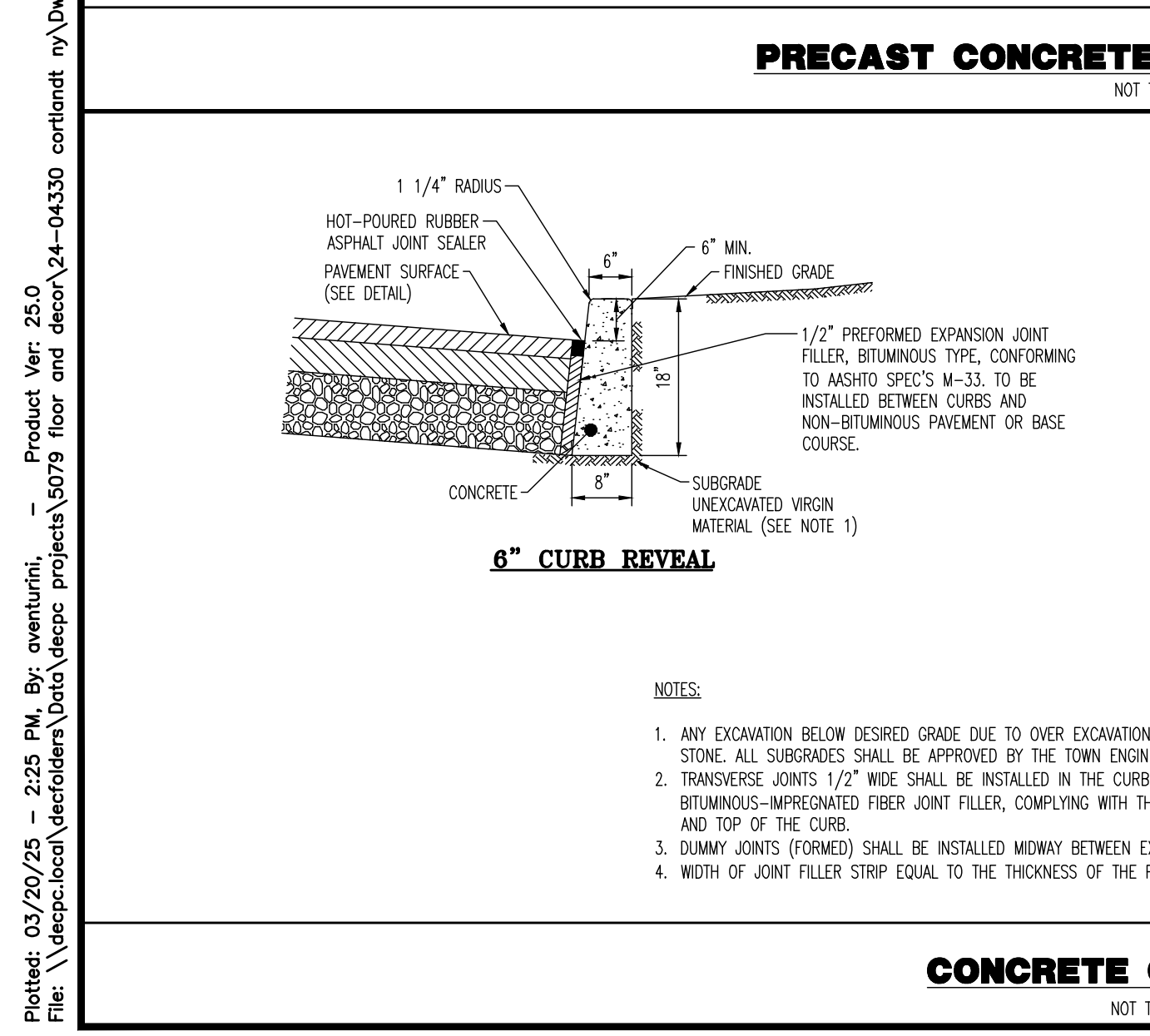
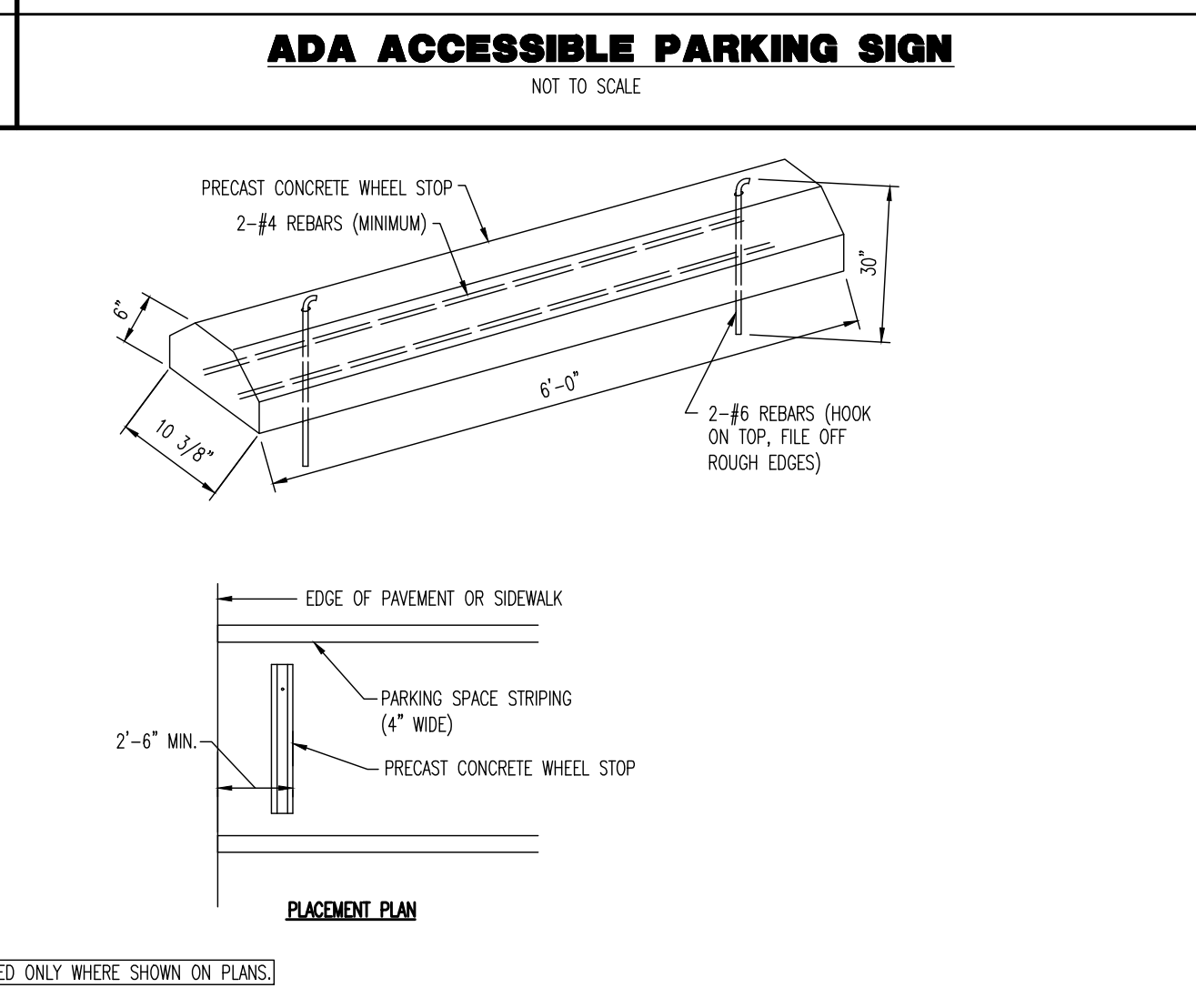
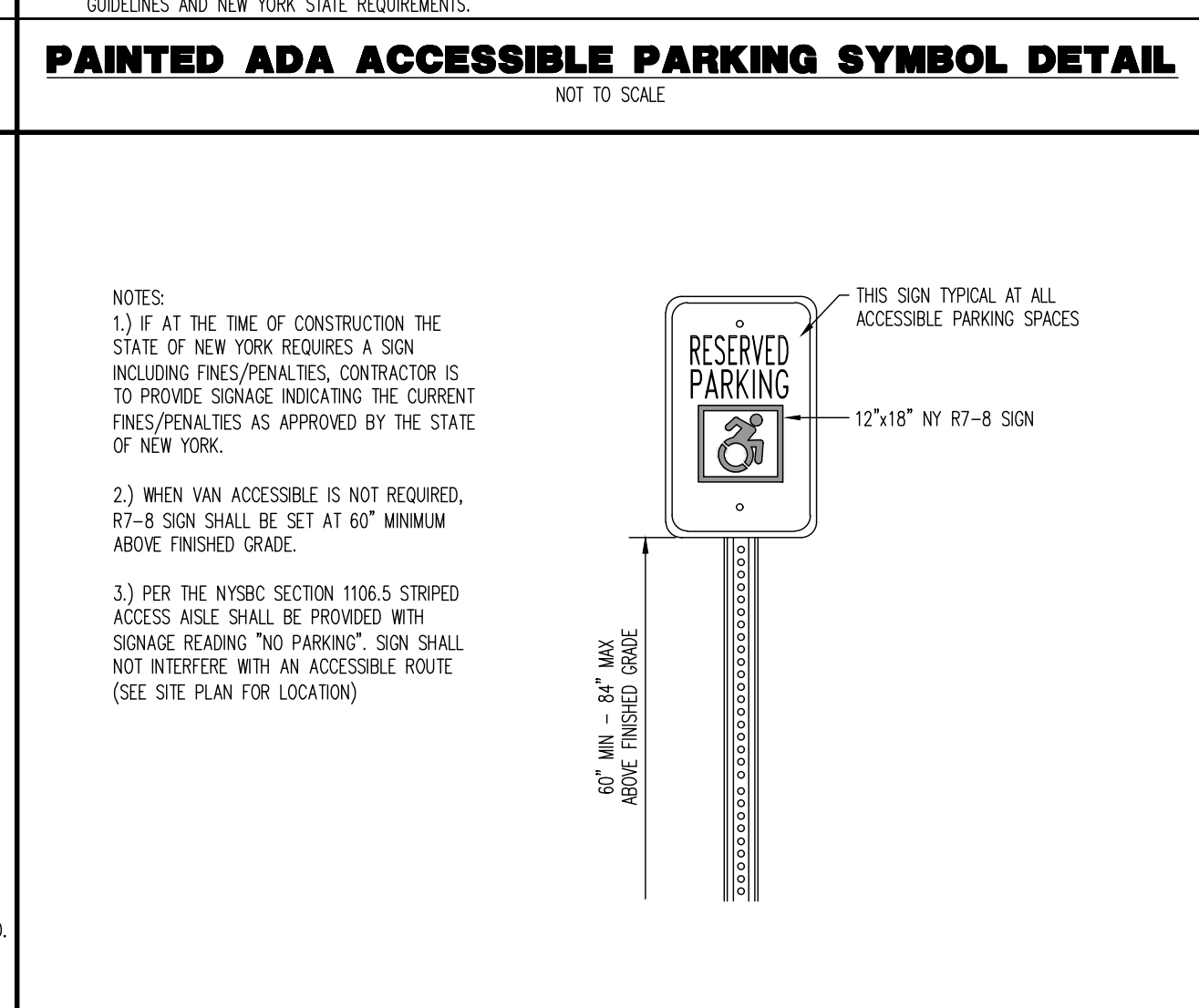
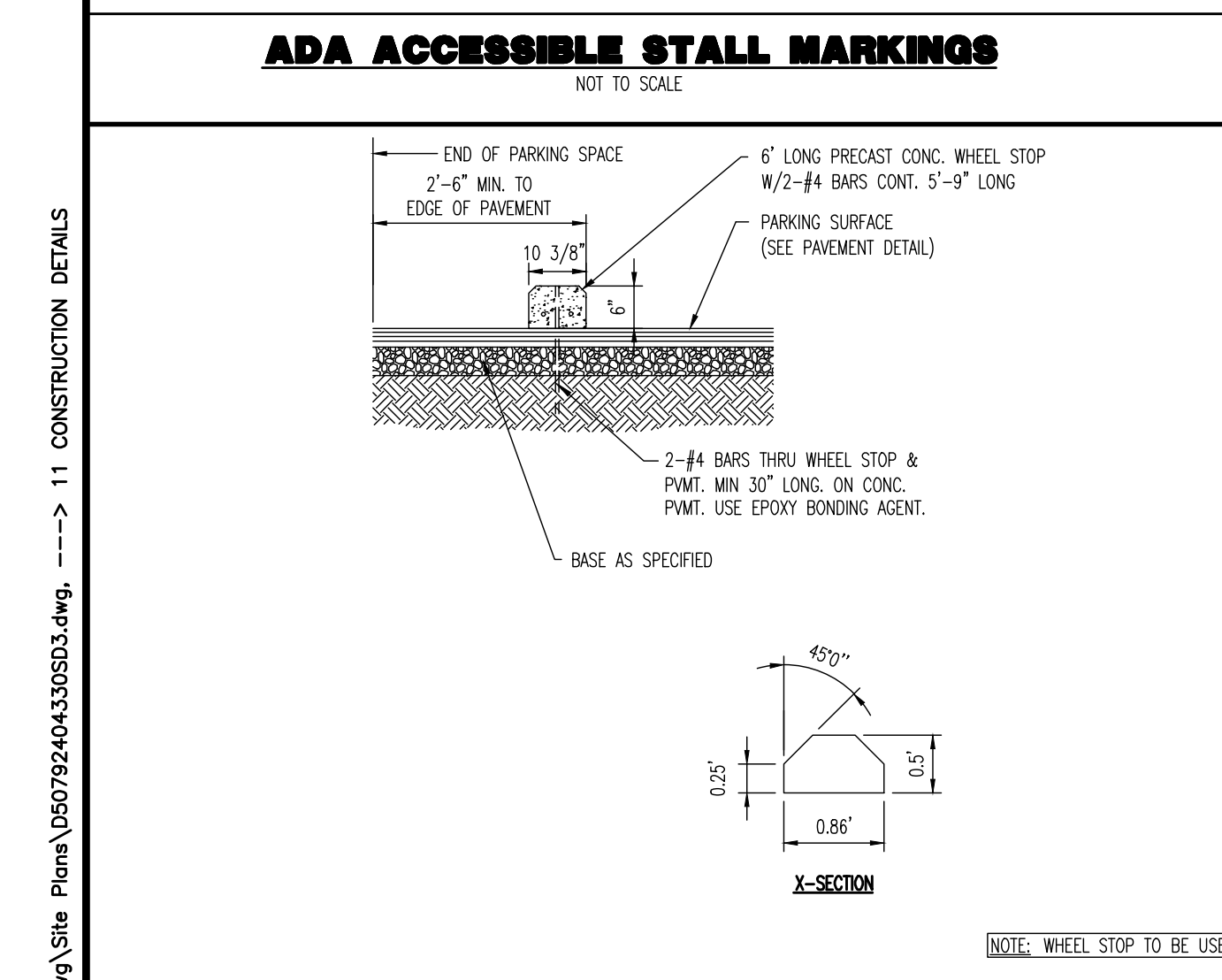
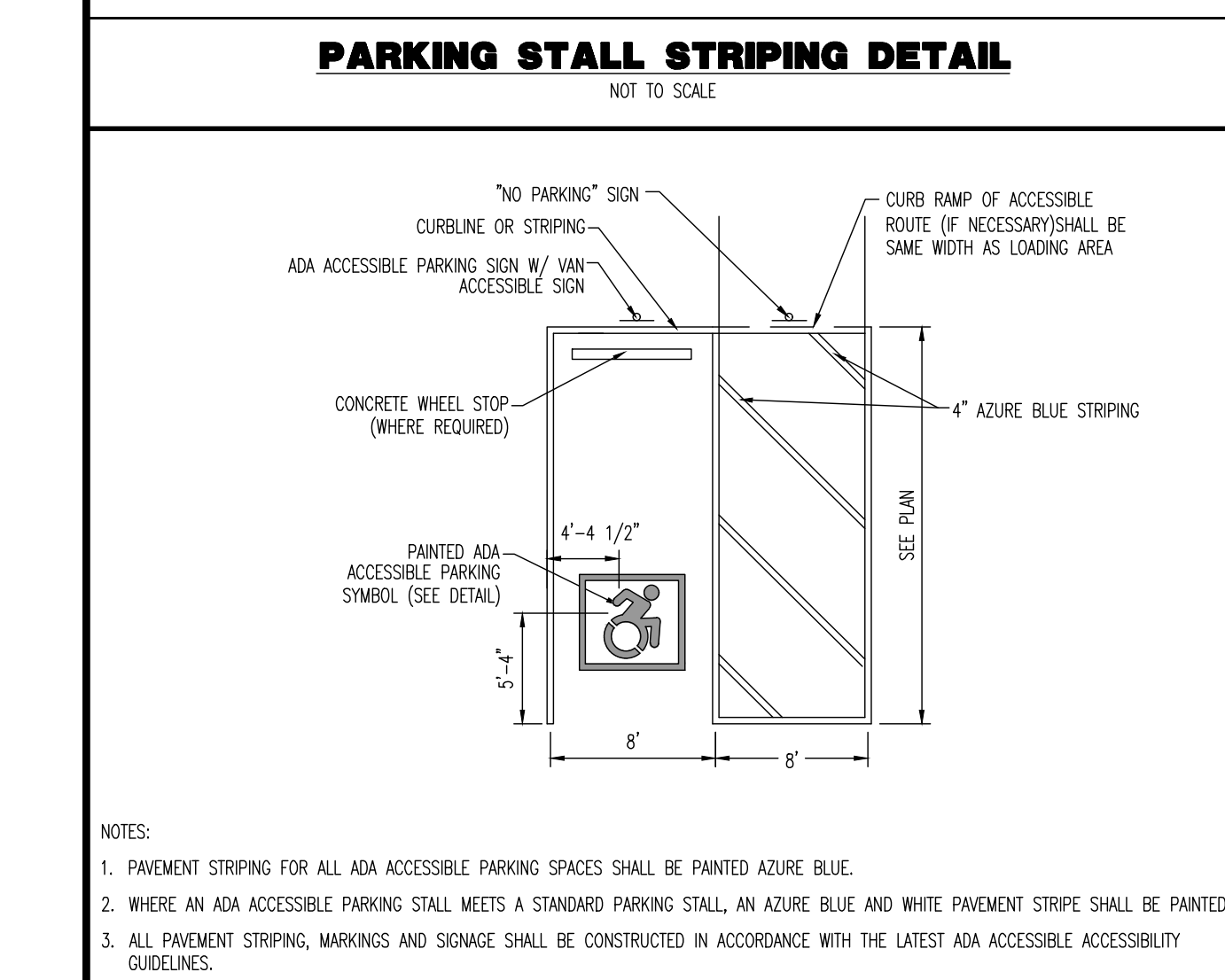
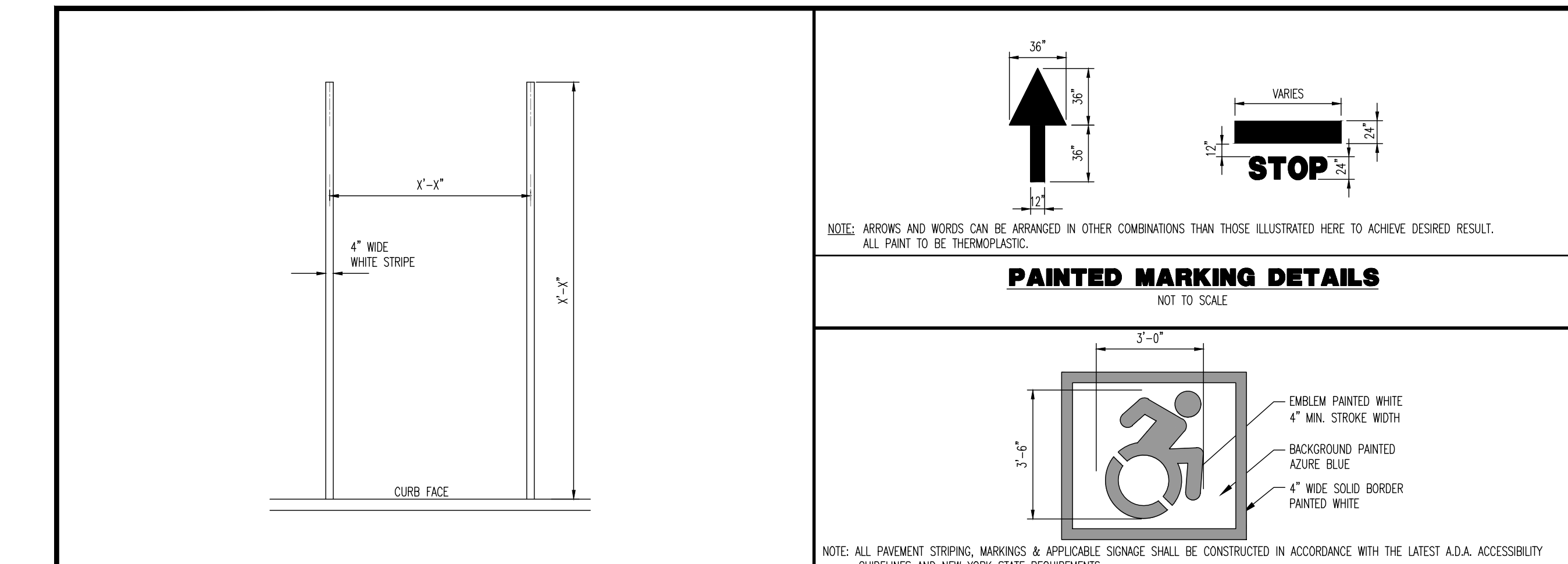
JOSHUA M. SEWALD
PROFESSIONAL ENGINEER
NEW YORK LICENSE No. 097639

TITLE: SOIL EROSION & SEDIMENT CONTROL DETAILS

SCALE: (H) AS SHOWN (V) SHOWN DATE: 01/23/2025
PROJECT No: 5079-24-04330

SHEET No: **10** OF 14
Rev. #: 3

NOTE:
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ZACHARY A. HAMM
PROFESSIONAL ENGINEER
NEW YORK LICENSE No. 097671

JOSHUA M. SEWALD
PROFESSIONAL ENGINEER
NEW YORK LICENSE No. 097639

TITLE: **CONSTRUCTION DETAILS**

SCALE: (H) AS SHOWN (V) SHOWN DATE: 01/23/2025
PROJECT No: 5079-24-04330

SHEET No: **11** OF 14 Rev. #: 3

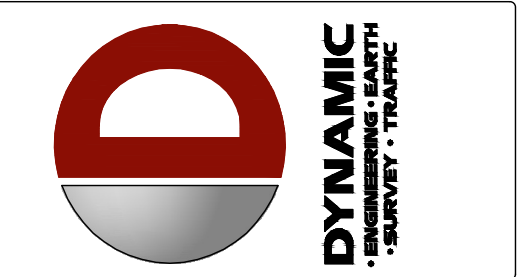
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PROJECT: FLOOR & DECOR OUTLETS OF AMERICA INC. SECTION 24.1.3, BLOCK 2, LOTS 4, 5, 6, 9, 11 & 12 2094 EAST MAIN STREET (NY-6) TOWN OF CORTLANDT, WESTCHESTER COUNTY, NEW YORK

DATE: 01/23/25
REV. DATE: 02/13/24
BY: ADY
CHECKED BY: ZAK
DESIGNED BY: LB
DRAWN BY: DRT

Project: 03/20/25 - 2:25 PM, By: oventurini, Product Ver: 25.0
 File: \\spec.local\cadd\projects\5079 floor and decor\24-04330.dwg, 11 CONSTRUCTION DETAILS

THIS PLAN TO BE UTILIZED FOR VEHICLE CIRCULATION PURPOSES ONLY



REV.	DATE	COMMENTS
3	03/20/25	REVISED PER TOWN COMMENTS
2	02/20/25	REVISED PER TOWN COMMENTS
1	02/13/25	REVISED PER TOWN COMMENTS / PERMIT / BID

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PROJECT: FLOOR & DECOR OUTLETS OF AMERICA INC.
 SECTION 24.1.3, BLOCK 2, LOTS 4, 5, 6, 9, 11 & 12
 2094 EAST MAIN STREET (NY-6)
 TOWN OF CORTLANDT, WESTCHESTER COUNTY, NEW YORK

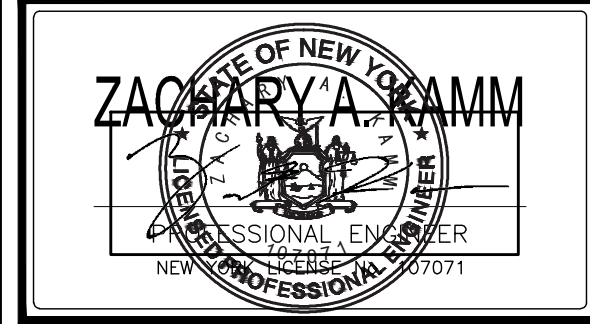
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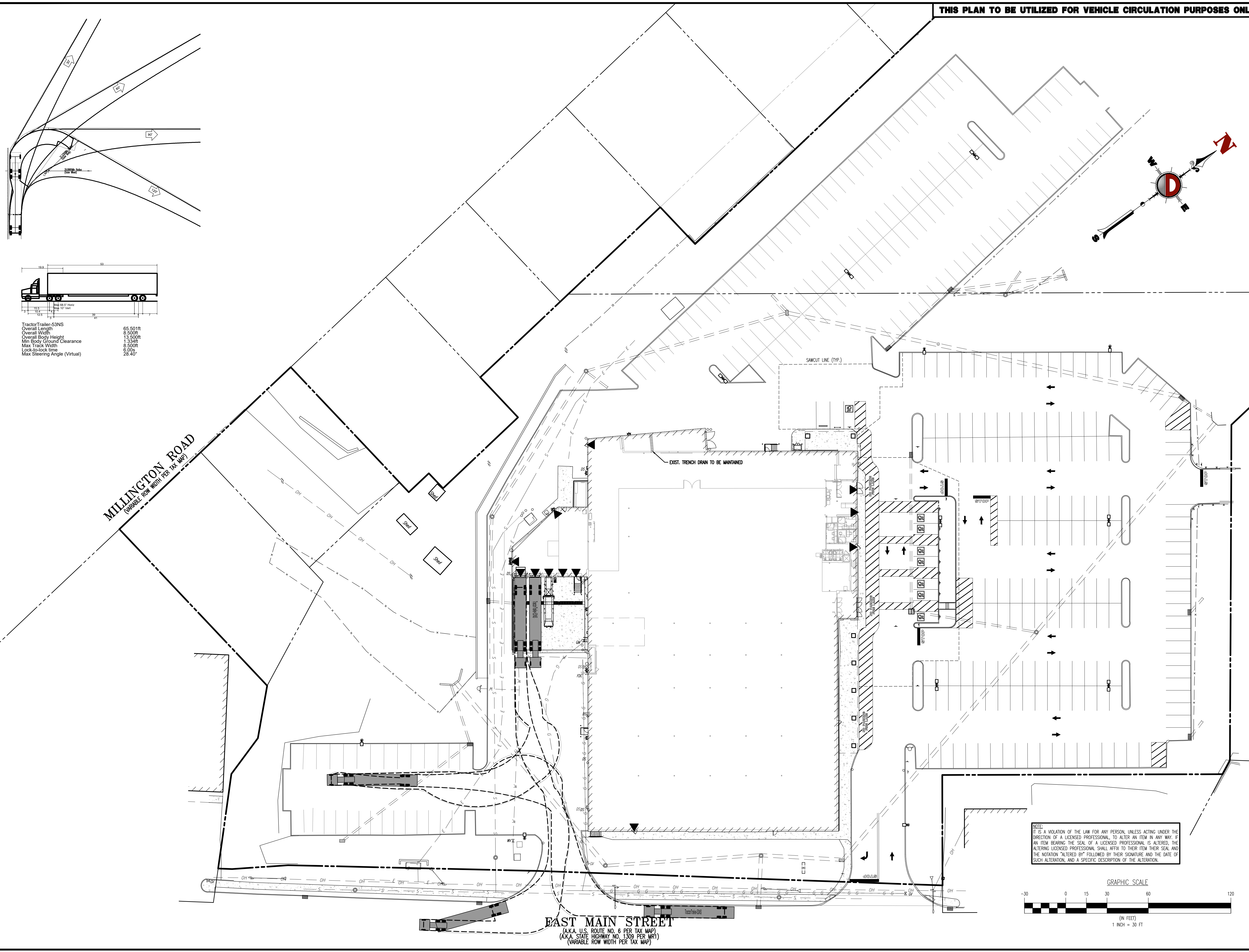


JOSHUA M. SEWALD
 PROFESSIONAL ENGINEER
 NEW YORK LICENSE No. 097639

TITLE: **VEHICLE CIRCULATION PLAN**

SCALE: (H) 1" = 30'
 (V) 1" = 30'
 PROJECT No: 5079-24-04.330
 DATE: 01/23/2025

SHEET No: **14** OF 14
 Rev. #: 3



Plotted: 03/20/25 - 2:25 PM, By: aventurini, Product Ver: 25.0
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